



Wyong
Shire
Council
CENTRAL COAST

Toukley Planning Strategy

October 2010

Prepared by: Wyong Shire Council – Shire Planning Department
Informed by: 2006 draft Toukley Planning Strategy
Prepared by: Architectus Sydney Pty Ltd



Acknowledgement

This Strategy has been informed by the 2006 draft Toukley Planning Strategy prepared by Architectus Sydney Pty Ltd

Architectus Sydney Pty Ltd: ABN 11 098 489 44

Address: 41 McLaren Street, North Sydney NSW 2060 Australia.

Telephone: 61 2 9929 0522

Fax: 61 2 9959 5765

Email: sydney@architectus.com.au

Website: www.architectus.com.au.

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Vision

A Vision for the Toukley Peninsula

From the time you head east over Toukley Bridge, past the iconic building on the left hand side, on Lake Budgewoi, and the park overlooking Tuggerah Lake to the right, it's clear the Toukley Peninsula has something for everyone.

This gateway to Toukley simply encapsulates all that is good about the vibrant Toukley Peninsula: from new buildings that take advantage of the beautiful geographic location, complete with eye catching public art, to open space areas around picturesque waterways the whole family can enjoy.

Indeed, your welcome signs to the Toukley Peninsula simply whet the appetite for those looking for a relaxed holiday, or reinforce to those people living here what a wonderful area they have to call home.

Toukley is a vibrant, caring and connected community, with abundant natural beauty and a range of facilities and services to cater for people of all ages.

The people of Toukley care deeply about their unique natural environment. There is a thriving village business atmosphere that is more than sustainable and, like the rest of Wyong Shire, the area is well connected thanks to utilising some of the world's best information technology.

From a resident's perspective there is no better place to live, and the Peninsula certainly has attractions for those wishing to invest in a holiday house or unit.

Real estate agents are among the most popular local businesses, courtesy of the many housing options available for both young families and retirees.

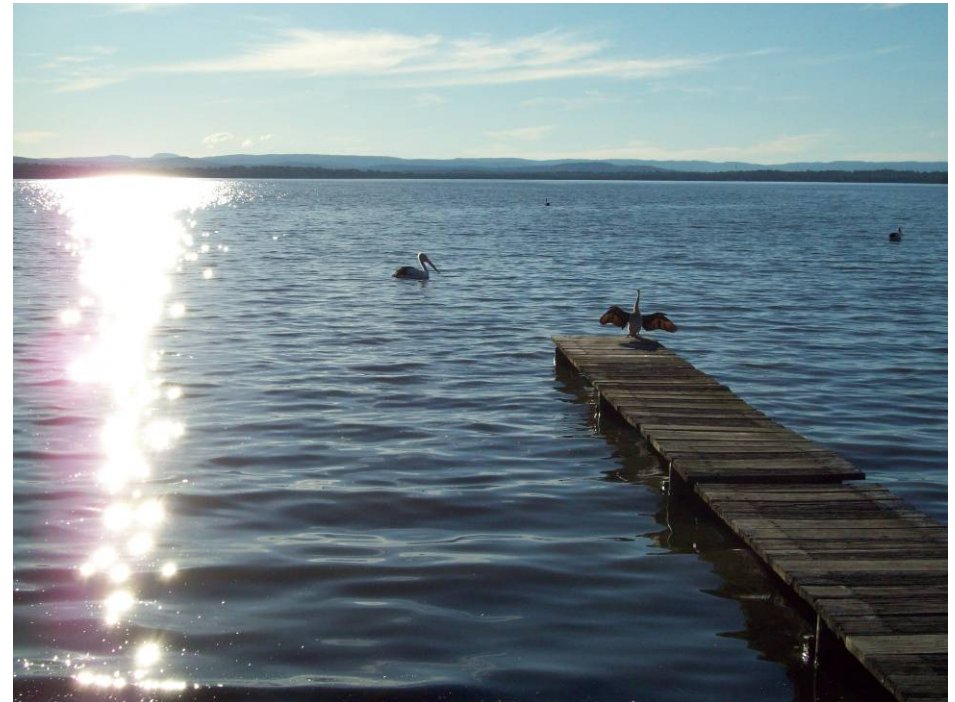


Photo 1: Peel Street foreshore looking north-east across Lake Budgewoi

Vision

From garden apartments with secure parking and lift access, to low scale town houses and villas with low maintenance yards, and renovated houses with huge yards, the Toukley Peninsula is certainly not short on housing choices.

The ease of travel means it is easy to make your way to the local shopping centre district, local parks, sports facilities and two well patronised clubs in Toukley RSL and Canton Beach Sports Club.

As an advantage for those looking for a night out, most of the attractions are well linked, giving residents and holiday makers the opportunity to walk or ride rather than having to drive their car.

Toukley's village shopping atmosphere enables you to take your time and enjoy this coastal, open air town, while giving you the luxury of stopping at any number of cafès or coffee shops while you are out and about.

The wide footpaths and tree lined streets are enticing and create an ambience not seen anywhere else.

Many people prefer the boutique, relaxed shopping experience of Toukley as opposed to the holiday charged atmosphere of The Entrance. There is also plenty of convenient parking for when you load up the car, and residents and holiday makers alike say they feel safe and relaxed.

Residents can stock up on groceries from Aldi at East Toukley or Franklins and Coles in the heart of town. And then there are the markets each weekend. All these options help to keep holiday budgets in check, should visitors choose not to sample one of the many restaurants in the area catering for all types of cuisine.



Photo 2: Lake Budgewoi foreshore

There are also a number of recreational pursuits people can take advantage of right around the Toukley Peninsula, from the ocean village of Norah Head to a beautified Canton Beach on Tuggerah Lake.

A shared pathway at Canton Beach enables you to make your way into the Wyrabalong National Park, where you can spot an abundant array of native wildlife while keeping fit at the same time. Many locals escape from it all in the middle of The Red Gum forest.

If nature walks aren't your thing, then maybe the ocean is. Many a generation has learned to surf at the popular Soldiers Beach break, while the local surf shop is busy every year hiring out boards to holiday makers.

Vision

If surfing doesn't interest you, then you can always go snorkelling at Cabbage Tree Harbour, fishing at the beach or off the nearby rocks or even just kicking back at a Norah Head café.

The local sporting clubs are some of the most popular and well run on the Central Coast (including the Toukley Hawks Rugby League Club and Toukley-Gorokan Soccer Club) while in summer, Toukley District Cricket Club has long been one of the Central Coast's most powerful outfits.

Toukley's 18 hole golf course is regarded as one of the best on the Central Coast, catering for both the serious player or weekend hacker.

You can hire a catamaran at Canton Beach, while locals and visitors can launch a boat from one of the many ramps, either into the Tuggerah or Budgewoi Lake or into the ocean at Cabbage Tree Harbour. However, you need to be careful when you launch, and take into account the whale watching season in June and December.



Photo 3: Soldiers Beach

Toukley also caters for the arts community, and the Community Arts Centre is one of the most popular in Wyong Shire, hosting a number of exhibitions. A number of community arts events are held each year, giving budding local artists every opportunity to showcase their talent.

When it comes to quality family time or a relaxing day out with visitors, there is no shortage of lakefront reserves catering for family picnics. These include areas at Canton Beach, Osborne Park and even Norah Head and the historic lighthouse.

No matter what direction you head for a picnic lunch or to find a park, the one sure thing is that it will be surrounded by water, giving residents and visitors an opportunity to enjoy unsurpassed, natural views that are unparalleled along the entire NSW coastline.

Whether you are lucky enough to call the Toukley Peninsula home, or come here as an escape from it all, one thing you can be certain of: there's something in this thriving area for everyone.



Photo 4: Canton Beach foreshore looking south-west across Tuggerah Lake

Executive Summary

Toukley has experienced some pressure for change over recent years. This pressure peaked in 2002/2003 and was reflected in rising real estate prices and contentious development proposals. Since late 2004 development pressure and property prices have flat-lined or fallen due largely to the current lack of economic viability in property development. This 'down' cycle in the property market is not unique to Toukley and it will not last forever.

At the same time there are a number of issues that need to be addressed by long term planning. For example, the Town Centre is often "busy" but has a limited range of services and at times has high vacancy rates and empty shops. There are limited choices of housing types, especially for the ageing population, and few (if any) new dwellings that are easily "adapted" to suit mobility impaired residents. The tourism potential of the area is not well serviced or supported.

The present conditions present a unique opportunity to ensure the planning framework is right for Toukley. To this end, the overall purpose of the Strategy is to:

- Establish planning principles and objectives to underpin the longer term Strategy for the Toukley Peninsula.
- Recommend a long term direction to accommodate growth while protecting the unique sensitive environmental setting of the Toukley Peninsula.

The 2006 draft Toukley Planning Strategy (2006 draft Strategy) was publicly exhibited with extensive community consultation and feedback provided between March and June 2006.

The 2009 Toukley Planning Strategy (the Strategy) is based on a detailed review of the 2006 draft Strategy and the feedback received from the community and stakeholders during the 2006 consultation period.



Photo 5: Aerial view from West Toukley looking east

In addition to these considerations, there have been new or changes to existing planning legislation, policies and plans that have had a bearing on the revised Strategy. Of note is the Central Coast Regional Strategy (CCRS) which contains recommendations in relation to population, dwelling and employment targets.

The Strategy has had regard for new information from updated Census data (2006). Council engaged consultants to undertake an Economic Viability Study to inform the revised Strategy. Further, emerging considerations such as climate change, sustainability criteria and the changed global economic conditions have been taken into consideration.

The scope of the constraints and opportunities has been expanded, together with detailed analysis and planning recommendations for a wider selection of Precincts. The Strategy study area has been divided into 13 Precincts, each with a unique character and common opportunities. Some Precincts demonstrate more potential for change than others while all show scope for improvement to environmental, social and economic conditions.

The Strategy has been developed to address the local issues and opportunities while underpinning the delivery of the key objectives of the Shire Strategic Vision (SSV).

Investigations to underpin the Strategy have covered:

- New planning context
- Socio-economic and dwelling characteristics and trends
- Physical and environmental conservation issues
- Economic, recreation and tourist conditions, issues and opportunities, and
- Infrastructure and services availability and capacity



Photo 6: View of Norah Head Lighthouse and surrounds

The Strategy is based on the principles of liveability that seek to achieve integrated mixed-use neighbourhoods, which reduce car dependence. These would contain built forms that respect the natural setting and environmental characteristics of the locality.

These matters have been carefully reviewed and analysed and have assisted in informing the revised Strategy. These considerations have driven the following recommended key changes from the 2006 draft Strategy:

- Reduced maximum building heights
- Reduced distribution of three to four storey multi-unit residential housing forms
- Increased distribution of lower-scale multiple dwelling housing forms (townhouse and villa) within walking distance of facilities and transport
- Rezoning at Norah Head from 2(g) Residential Tourist to 2(b) Multiple Dwelling Residential
- Fourth storey East Toukley room in pitched roof – ‘Village Style’

The above changes have been developed while maintaining population and dwelling capacity targets consistent with the 2006 draft Strategy and CCRS. These changes increase housing choice close to the Town Centre and other centres and reduce the extent of multi level residential building forms in favour of an increase in lower scale housing forms. This Strategy continues to preserve extensive areas of detached housing.



Photo 7: Town house, coastal example, NSW Coast

The Strategy acknowledges the natural and physical constraints of the area and aims to give direction to the underlying issues described above. The key objectives and recommendations of the Strategy are to:

- Incorporate the principles of sustainability into all forms of development
- Plan for the impacts of climate change including potential sea and lake level rise, increased storm activity and coastal erosion
- Reinforce the role of the Town Centre as the primary business hub of the district within a legible urban structure allowing shop-top housing up to five storeys
- Retain the local role of East Toukley business area
- Retain the coastal village character of Norah Head while facilitating low scale tourist accommodation and uses

- Rationalise residential zones, including increased density closer to Toukley Town Centre by allowing three to four storey housing on consolidated sites set amongst landscaping
- Rezone more areas close to centres, facilities and transport to accommodate low scale townhouse and villa housing
- Rezone existing high density residential housing with no height limit to medium density housing, generally with a three to four storey height limit
- Promote tourist accommodation and uses in areas such as the Beachcomber Precinct and Canton Beach; Norah Head and Peel Street foreshore (medium term) through a Residential Tourist zone
- Rezone certain non-urban lands to reflect environmental attributes, use as open space or vegetation buffers
- Retain many areas for low scale housing through the 2(a) Residential zone
- Examine appropriate zoning of land in and surrounding Toukley Town Centre to accommodate existing and future carparking needs
- Introduce building height controls in business zones
- Recommend the preparation of floor space ratio (FSR) development controls
- Develop incentives for adaptable and affordable housing
- Recommend appropriate minimum lot sizes for land in waterside locations
- Prepare a Development Control Plan (DCP) Chapter for Toukley Peninsula, including consolidation of the existing or repealed Toukley DCP Chapters
- Develop design guidelines to reflect Toukley Peninsula's unique relaxed coastal village character
- Advance housing choice through supporting the implementation of Promoting Housing Choice: A Local Housing Strategy for Wyong Shire
- Promote safety, accessibility and healthy by design principles in public and private design



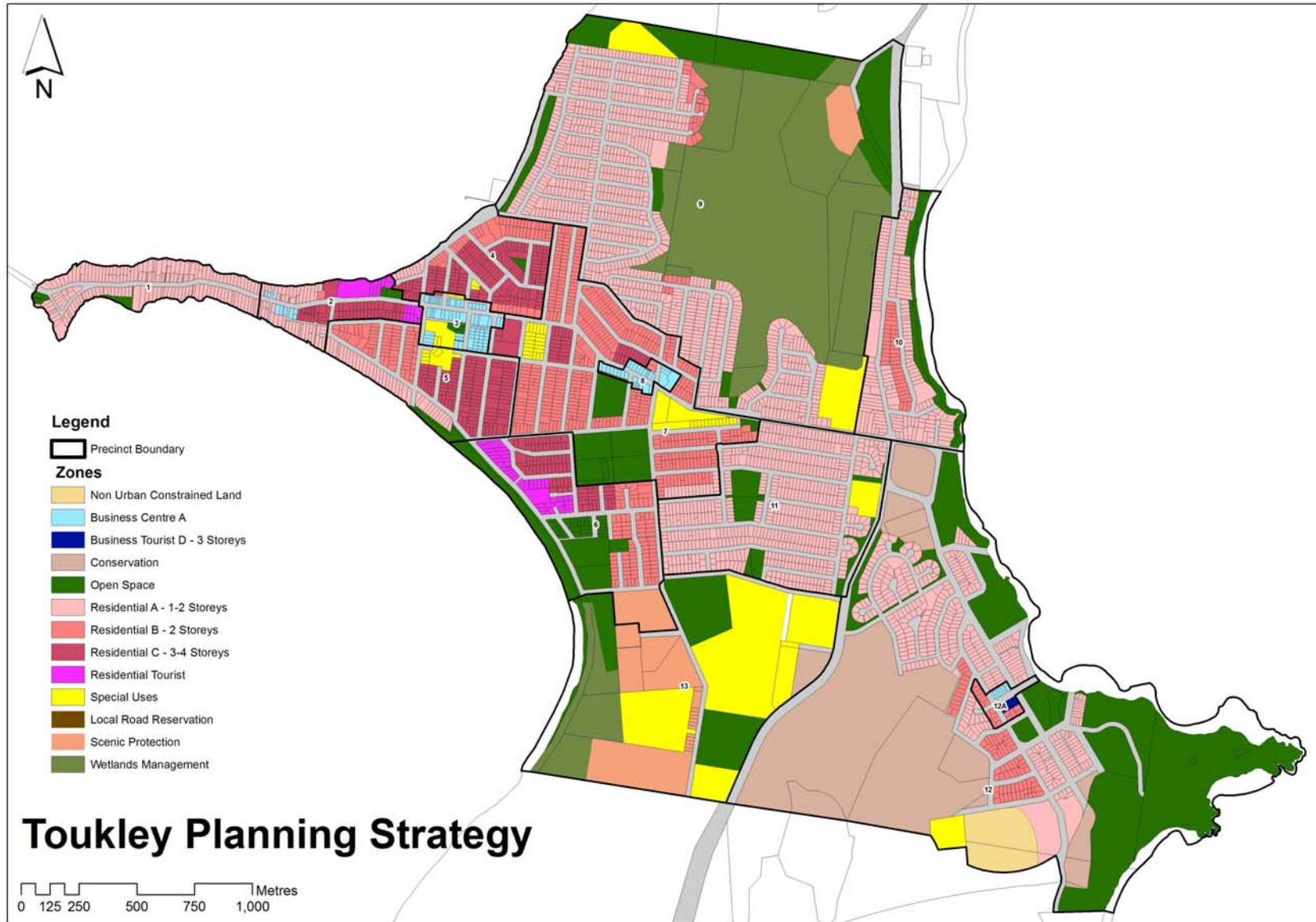
Photo 8: Properties fronting Beach Parade, Canton Beach

- Support and enhance the range and accessibility of community and cultural services and facilities to promote a vibrant and connected community
- Plan and promote additional bicycle and shared pathways to connect facilities and attractions
- Review traffic management measures to accommodate projected growth
- Facilitate improvements to public transport and carparking
- Undertake a local open space study and structure plan to provide a context to guide maintenance and enhancement of areas and facilities and address additional demand
- Protect environmentally sensitive lands through appropriate zoning and development of an ecological management plan
- Protect and enhance the lakes by supporting the actions of the Tuggerah Lakes Estuary Management Plan (EMP)
- Explore mechanisms to further develop a unique tourist identity to promote Toukley Peninsula and support organisations in attracting sustainable businesses and vibrant events
- Improve streetscape and gateway treatments through appropriate landscaping, street furniture and public art
- Incorporate the principles of water sensitive urban design (WSUD) into future development
- Manage the impacts of flooding through guidelines that account for climate change impacts
- Facilitate the implementation of the world's best integrated information technology facilities

The Strategy will be placed on public exhibition allowing further input from the community, stakeholders and government agencies. Feedback will be reviewed guiding any changes to the Strategy, which will be presented to Council for adoption. Following this, implementation of the Strategy will commence including a draft Local Environmental Plan (LEP), new DCP Chapter for the Toukley Peninsula, Section 94 Developer Contribution Plan amendment and locality specific masterplans.



Photo 9: Integrated public art



Map 1: Toukley Planning Strategy

1.1 About the Strategy

The Toukley Peninsula is a unique isthmus of land situated between the ocean in the east, Tuggerah Lake to the south and Lake Budgewoi to the north. Toukley area includes the urban areas of Toukley, East Toukley, Noraville, Canton Beach and Norah Head with a total residential population of just under 9,000 people. The urban areas adjoin some environmentally important lands including the state significant Toukley Wetland, Wyrabalong National Park and the Red Gum Forest.

The Toukley area has experienced various pressures for change over recent years. Growing interest in the locality led to rising real estate prices until late 2004 after which they flat-lined and gradually declined. The accessibility of the area to Sydney and Newcastle, its scenic coastal setting and temperate climate combine to make the Toukley Peninsula an area of continued interest.

The Toukley Planning Study was undertaken during 2003 by Sue Haertsch Planning. The study considered the constraints and opportunities for growth of the locality, identified key issues within the area and reviewed the current planning controls.

The Toukley Planning Study recommended four alternative development scenarios for Toukley and nominated a preferred future direction for the Peninsula. The Planning Study took into account issues raised by the community in meetings held in 2002. A telephone survey conducted during the Study provided further input.

The 2006 draft Strategy prepared by Architectus Sydney Pty Ltd (Architectus) reviewed and tested the development scenarios put forward by the Planning Study to ensure that the planning principles that underpinned the Strategy were responsive to the needs and issues facing the locality. The purpose of the 2006 draft Toukley Strategy was to:

- Establish planning principles to underpin the longer term Strategy for the Toukley Peninsula
- Recommend a longer term direction for growth of the Toukley Peninsula

The purpose remains relevant to the present Strategy, although a stronger emphasis is now placed upon the natural environmental setting.

The Strategy has been prepared by Wyong Shire Council's Future Planning Unit, but is informed by the 2006 draft Strategy prepared by Architectus.



Photo 10: View from Lake Budgewoi foreshore looking south-west

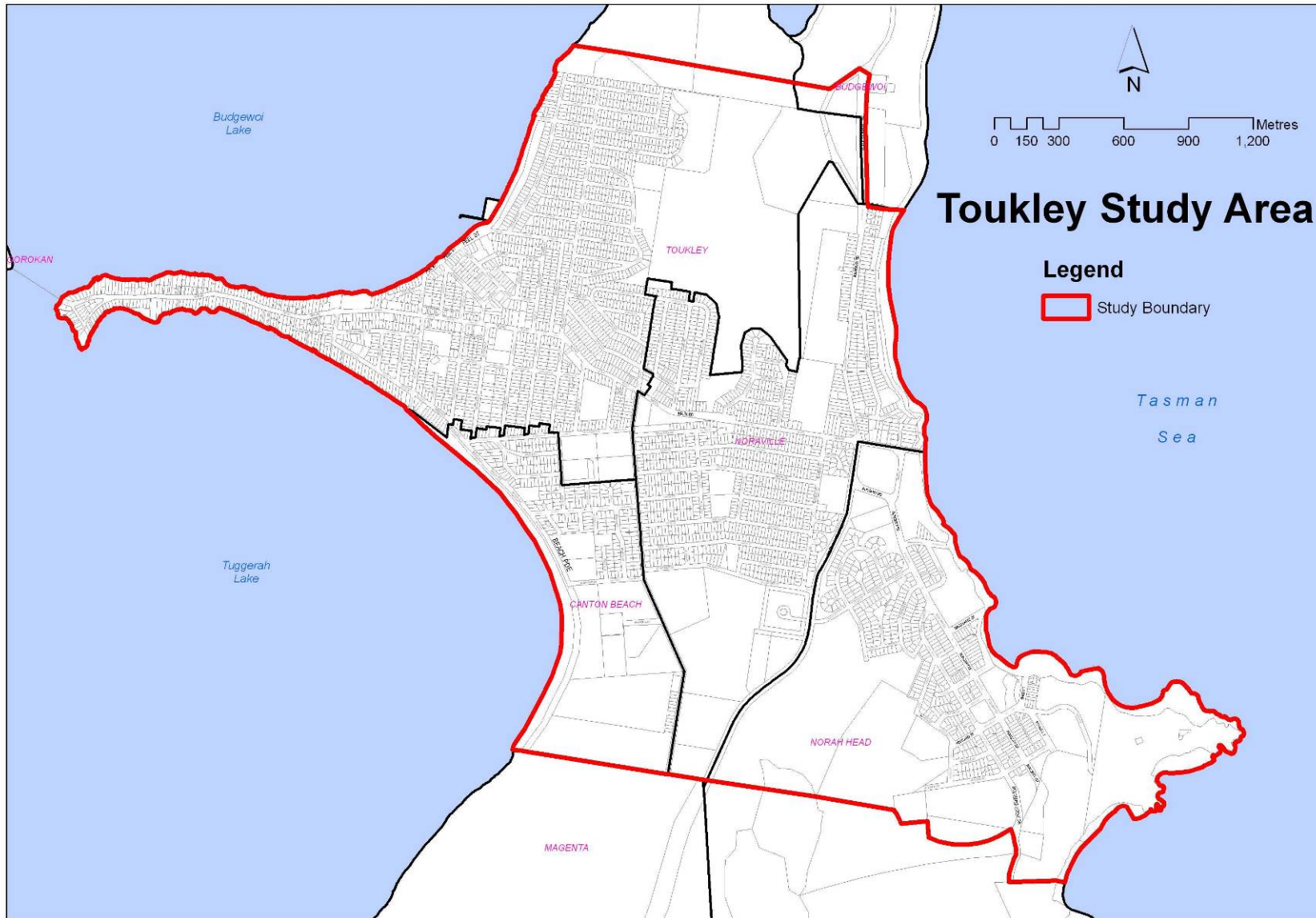


Figure 1: Toukley Strategy Area

The 2006 draft Strategy was placed on public exhibition with a community consultation period held between 24 March and 1 June 2006. Feedback from the public consultation period was extensive and raised the following key issues:

- Proposed building height too high in Town Centre and Canton Beach
- Loss of village character due to proposed building height
- Roads and traffic problems will be exacerbated
- Detrimental impact on area
- Inadequate infrastructure
- Population and densities too high
- Impact on environment
- Crime and vandalism will worsen
- Water supply inadequate to support increased development
- Lakes should be improved first
- Inadequate carparking
- Area shouldn't become just like The Entrance or Gold Coast
- Inadequate medical facilities
- High rise does not suit the aged community
- Town Centre needs to find a niche

These matters have been carefully reviewed and analysed and have assisted in informing the revised Strategy.

The draft CCRS was released in the second half of 2006, having significant implications for the key recommendations of the Strategy.

Toukley's future growth was limited to (or equivalent to) available growth capacity under the existing land use zones, which would have required significant revision to the recommendations contained in the 2006 draft Strategy.

Council engaged consultants to undertake an Economic Viability Analysis Study for the Toukley area in 2007. The study examined the viability of **six** approved Development Applications and **nine** development scenarios across four selected sites. Results showed most development forms were not financially viable under the current market conditions, but there was a clear need for well defined planning controls to increase certainty and reduce property speculation.

The final version of the CCRS was released in June 2008 with amendments including increases to population, dwelling and employment targets and the growth restriction for Toukley removed. Toukley is now identified as part of "Centres" with combined dwelling growth targets of an additional 14,500 dwellings (up from 10,100 under the 2006 draft Strategy).



Photo 11: Aerial view looking north across Toukley

In considering the unique context, issues and opportunities of the Toukley Peninsula, the Strategy aims to further the key objectives of the SSV.

Toukley Peninsula's coastal location makes it susceptible to the projected impacts of climate change including sea and lake level rise, increased flooding and storm activity and coastal erosion. In line with Wyong Council's draft Climate Change Policy, current best practice and NSW State Government's Sea Level Rise policy, this Strategy recommends adopting a risk-based approach to land use planning including a 100 year planning period.

Accordingly, a number of localities are identified as being impacted by projected lake flooding. While no change or, in some cases, potential new land uses within some localities are recommended, this is on a **provisional basis**. Any subsequent change in zoning for areas identified at risk will be **deferred** pending firstly, the completion of the Tuggerah Lakes Floodplain Risk Management Plan and/or Coastline Management Plan (incorporating sea level rise projections), which will verify the 'identified coastal risk areas' and secondly, undertaking of a comprehensive risk-based assessment process.

If the risk is determined to be manageable, new development will need to be located and designed with appropriate and relevant mitigating and adaptive measures against the anticipated impacts of climate change for the asset period deemed appropriate for the particular development. However, if it is demonstrated through the risk assessment process that the proposed land use is not sustainable for its defined asset period then, based on the precautionary principle, it should not be up-zoned and an alternative land use and/or planning control measures will need to be considered.

The Strategy seeks to look beyond zoning diagrams and advance positions on how Toukley can be made more attractive as a place to live and to visit. It recognises that this will not solely be a development driven panacea, but better connectivity and liveability will encourage residential investment in what should be a bigger housing choice.

In reviewing and revising the 2006 draft Strategy it is considered:

- Principles of the 2006 draft Strategy remain valid
- The focus of the Strategy remains to accommodate growth whilst protecting the unique character and sensitive setting of the Peninsula
- Revitalisation of the Town Centre and a framework for improvements to areas such as Canton Beach to encourage tourism are key objectives to boost the local economy and improve the amenity of the locality



Photo 12: Toukley Bridge looking west

The 2009 Strategy scope has been broadened and revised to provide new or more robust consideration for the following:

- Alignment with the key objectives of the SSV
- A stronger vision and identity
- Wider scope and number of Precincts in Strategy study area
- New economic conditions
- Revised Planning framework such as CCRS, new State Environmental Planning Policies (SEPPs), Regional Economic Development and Employment Strategy (REDES), Central Coast Regional Conservation Plan (RCP) etc
- Settlement Strategy, Comprehensive LEP and Standard Instrument Zones
- Population and dwelling capacity targets
- Stronger emphasis on the lakes, integration with the EMP and surrounding natural environment
- Sustainability principles
- Climate change impacts
- Environmental constraints
- Tourism opportunities
- Safety by design principles
- Healthy by design principles
- Access and mobility

- Housing Choice
- Pedestrian and cycle linkages
- Passive and active recreation opportunities
- Traffic and transport network and capacity
- Parking
- Implementation mechanisms

This report recommends a Planning Strategy that is based on input from Council staff, Councillors, the community, stakeholders and government agencies.

The Strategy will be placed on public exhibition allowing further input from the community, stakeholders and government agencies. Feedback will be reviewed guiding any changes to the Strategy, which will be presented to Council for adoption. Following this, implementation of the Strategy will commence including a draft Local Environmental Plan (draft LEP), new Toukley area development control plan chapter (DCP Chapter), Section 94 Development Contribution Plan amendment and locality specific masterplans.

1.2 The Strategy Area

The Strategy covers the urban areas of the Toukley Peninsula, including Toukley, Toukley East, Noraville, Noraville North (Hargraves Beach), Canton Beach and Norah Head.

The peninsula is physically contained, being on the eastern side of Budgewoi and Tuggerah Lakes. Main Road is the major east-west thoroughfare of the locality and links to Warnervale and the F3 freeway to the west. Wilfred Barrett Drive is the major north-south connection to Budgewoi and The Entrance.

The primary land use of the peninsula is residential. The Toukley Town Centre is the commercial focus for the locality. Secondary centres are located at East Toukley, Norah Head and West Toukley. However, various retail and commercial uses are located along Main Road, many outside the “boundaries” of the Town Centre. Non urban zones, largely located to the north, south and east of the residential areas, include Open Space, Wetland Management, Conservation, Scenic Protection and Special Uses zones. Many of these areas are environmentally and visually sensitive and require careful management.

Toukley has a mix of housing stock ranging from well established single detached cottages, scattered dual occupancy developments, villas and townhouses to some three storey units. Caravan parks and a mobile home estate provide low cost housing and tourist accommodation. Tourist accommodation is also available in some motels in the locality, with the main concentration at West Toukley.

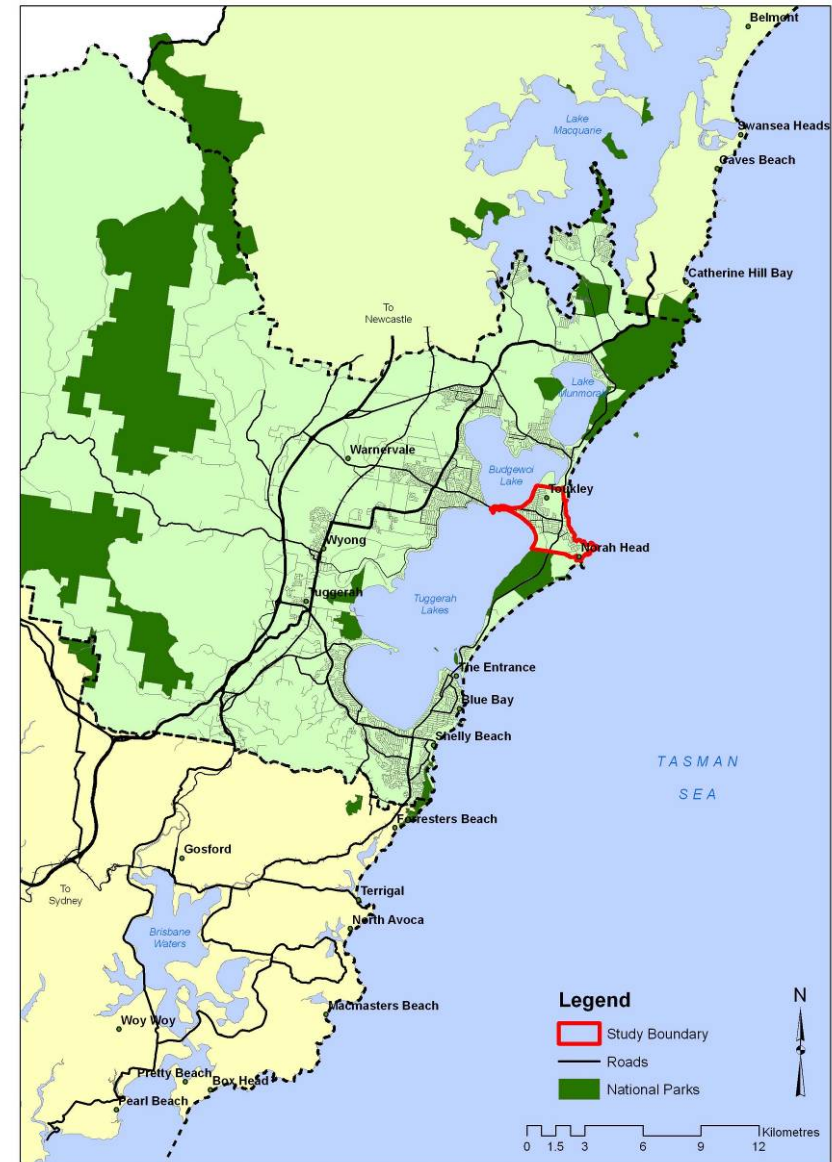


Figure 2: Regional Map

1.3 Document Layout

Chapter 2 provides the Planning Context including Local and State plans, strategies, policies and legislation.

Chapter 3 outlines Existing Conditions and Context including background socio-economic and demographic information, planning issues and a summary of constraints and opportunities.

Chapter 4 describes the Approach to the development of the Strategy.

Chapter 5 provides the Strategy both in general terms and then by each of the thirteen identified Precincts.

Chapter 6 outlines some of the Implementation measures required to deliver the recommendations of the Strategy.

2.1 State and Regional Policies

State Plan

The State Plan - A New Direction for NSW (NSW State Plan), released in November 2006, defines the overarching goals and outcomes that the NSW Government considers should shape public policy over the next 10 years. The objectives and priorities of the NSW State Plan mirror the aims of the Metropolitan Strategy (discussed below) and are set out in terms of five areas of activity of the NSW Government:

- Rights, Respect and Responsibility
- Delivering Better Services
- Fairness and Opportunity
- Growing Prosperity Across NSW
- Environment for Living

The State Plan includes 34 priorities and 60 targets designed to deliver better services and improve accountability across the public sector.

Metropolitan Strategy

The Metropolitan Strategy was released in early December 2005. The Strategy is a broad framework to secure Sydney's place in the global economy by promoting and managing growth. The Metropolitan Strategy has a 25 year time frame.

The aims of the Metropolitan Strategy are:

- Enhance liveability
- Strengthen economic competitiveness
- Ensure fairness
- Protect the environment
- Improve governance

The Metropolitan Strategy envisages improved communication and transport connections in the regional areas, including the Central Coast, to link jobs with housing growth. Greater economic diversity is seen as a key for the Central Coast to provide more local employment options.

The Metropolitan Strategy covers a geographic area of over 10,000 square kilometres, made up of 43 local government areas including two on the Central Coast (Wyong and Gosford). It is too large and complex to resolve all the planning aims and directions down to a detailed local level through one Metropolitan Strategy. A population growth of 1.2 million people, or a total of 5.3 million by 2031, is assumed and will involve the planning for an additional 640,000 new homes with the Central Coast expected to take a share of this growth.

The metropolitan area of Sydney has been arranged into ten subregions that combine local government areas with similar issues and challenges when it comes to planning for growth and managing change. The Central Coast is identified as one of these subregions.

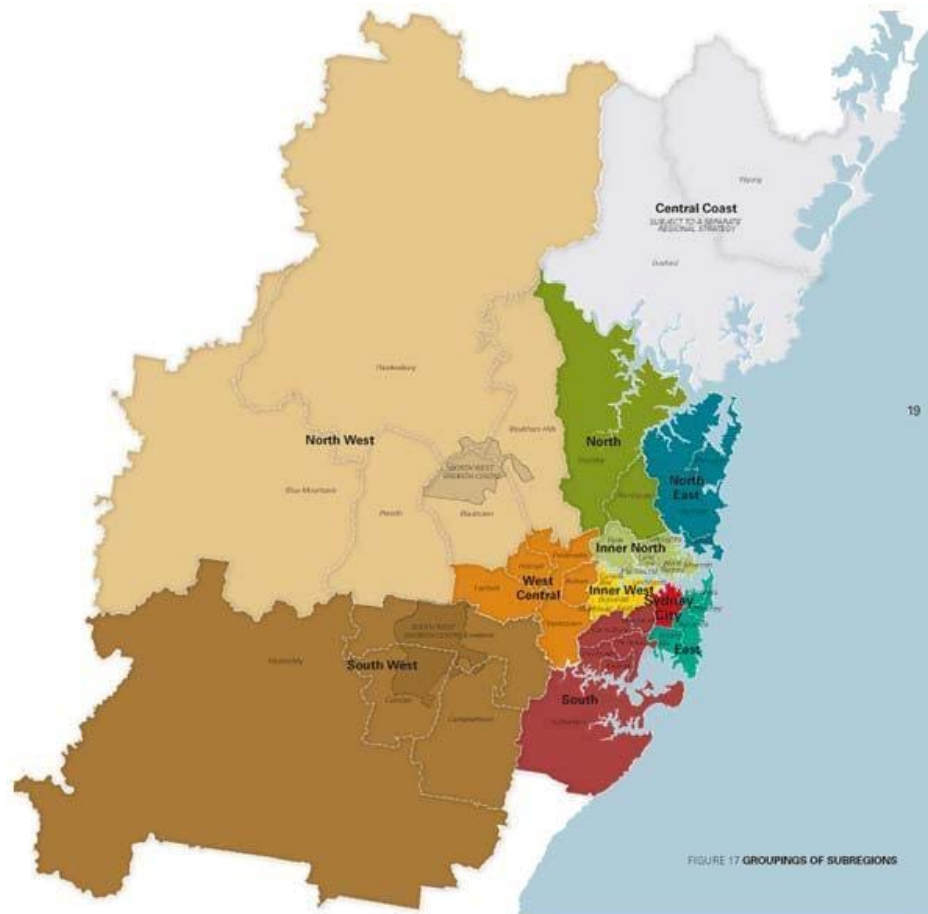


Figure 3: Map of Metropolitan Strategy sub-regions
(Source: Department of Planning)

Central Coast Regional Strategy (CCRS)

The CCRS was released by the NSW Department of Planning (DoP) on 26 June 2008. Its primary purpose is “to ensure land is available and appropriately located to sustainably accommodate the project housing needs” and further “promote employment opportunities” to 2031.

Subregional strategies such as the CCRS provide the following:

- A vision for the future role of the subregion
- Clarity on the future roles of centres
- Staging and prioritisation of renewal
- A framework for potential agreements between local governments concerning:
 - Co-ordinated planning
 - Funding and development contributions
 - Local transport
 - Open space networks
 - Biodiversity
- A framework for prioritisation of State infrastructure
- Housing targets (amount, distribution, and mix)
- Employment capacity targets for local planning (amount, distribution, and mix)

In terms of additional population and dwelling targets, Wyong Shire is expected to accommodate 70% of the total Central Coast targets. Employment targets for Wyong Shire equate to 60% of the total forecasts for the Central Coast Strategy. A summary of the revisions as they relate to both the Wyong Local Government Area (LGA) and Central Coast are as follows:

Table 1: Wyong LGA and Central Coast

Wyong LGA			
	Draft CCRS	Final CCRS	Increase
Additional Population	41,120	70,000	28,880
Additional Dwellings	23,000	39,500	16,500
Additional Jobs	19,400	27,000	7,600

Location for the housing and population growth is divided into the following four key categories:

- 1 Tuggerah-Wyong Major Centre – additional 4,000 dwellings
- 2 Other Centres – additional 14,500 dwellings
- 3 Infill – additional 2,000 dwellings
- 4 Greenfield – additional 16,000 dwellings

Much of the development growth within the 'greenfield' areas will be directed by the proposed North Wyong Shire Structure Plan (NWSSP), which is being led by DoP in consultation with Council. Growth within 'infill' areas will largely be governed by existing planning controls.

The CCRS states that growth within Tuggerah-Wyong Major Centre and 'other centres' (Items 1 and 2), identified by the Centres Hierarchy, will be directed by "centres redevelopment and revitalisation strategies" or "local planning strategies", prepared by Council, in order to accommodate the identified additional 18,500 dwellings within its centres. A generic 'centres' requirement for local planning strategies and LEPs (rezonings) is included in order to provide "zoned capacity" to enable dwelling capacity targets (under the CCRS) to be achieved.

Excluding the Tuggerah-Wyong Major Centre, the centres growth target is for an additional 14,500 dwellings, to be distributed throughout these existing 'centres' over the life of the CCRS which is described 2006-2031 or 25 years. Toukley is identified as a 'town' in Chapter 4 – Centres and Housing. The implication for the Strategy is that it must be considered in the context of the other centres in the Shire which include 'town centres' such as The Entrance, 'villages' such as Long Jetty and 'neighbourhoods' such as Wadalba with the aim of accommodating a share in the dwelling, population and employment growth targets.

In terms of built form, the CCRS recommends building heights up to 6 storeys in district centres such as Toukley. Taking into consideration Toukley's location on a peninsula between two lakes, a slightly lower maximum height is considered appropriate, while remaining consistent with this recommendation.

NSW Sea Level Rise Policy Statement

The NSW Sea Level Rise Policy Statement (Policy) outlines the State Government's objectives and commitments in regards to sea level rise adaptation. It outlines the support that the NSW Government will provide to communities and local Councils to prepare and adapt to rising sea levels. The intent of the Policy is to see coastal communities adapt to rising sea levels in a manner that minimises the resulting social disruption, economic costs and environmental impacts. The Policy sets forward the following actions to assist in meeting this objective:

- "1 Promoting an adaptive risk-based approach to managing the impacts of sea level rise
- 2 Providing guidance to local councils to support their sea level rise adaptation planning
- 3 Encouraging appropriate development on land projected to be at risk from sea level rise
- 4 Continue to provide emergency management support to coastal communities during times of flood and storms
- 5 Continuing to provide up-to-date information to the public about sea level rise and its impacts"



Photo 13: Storm damage, North Entrance

Draft NSW Coastal Planning Guideline: Adapting to Sea Level Rise

The Draft NSW Coastal Planning Guideline: Adapting to Sea Level Rise (Guideline), released by DoP in October 2009, provides guidance on how sea level rise and its associated impacts are to be considered in planning throughout Coastal NSW. The Guideline aims to promote ecologically sustainable development (ESD), and particularly encourages a precautionary approach in light of potential sea level rise impacts in coastal areas. To achieve this, the Guideline adopts a risk-based approach to land use planning and development assessment in coastal areas identifying six "coastal planning principles" to be applied in decision making processes. The principles are as follows:

- "1 Assess and evaluate coastal risks taking into account the NSW sea level rise planning benchmarks
- 2 Advise the public of coastal risks to ensure that informed land use planning and development decision-making can occur
- 3 Avoid intensifying land use in coastal risk areas through appropriate strategic and land use planning
- 4 Consider options to reduce land use intensity in coastal risk areas where feasible
- 5 Minimise the exposure to coastal risks from proposed development in coastal areas
- 6 Implement appropriate management responses and adoption strategies, with consideration for environmental, social and economic impacts of each option"

Principles 1 and 2 are being advanced through Council's Natural Resources and Sustainability Units and will be used to inform strategic planning and development assessment functions. Principles 5 and 6 will be incorporated into the various implementation measures in Chapter 6 of this Strategy.

Principles 3 and 4 form part of Section 3 of the Guideline and are particularly relevant for the development of this Strategy. Factors identified for strategic planning in coastal communities include:

- Incorporating coastal hazard studies into strategic planning
- Considering effects of protection works on land use capability
- Accommodating new growth in coastal communities
- Managing existing developed areas in coastal communities
- Maintaining foreshore access, amenity, open space and protecting coastal environments

Regional Economic Development and Employment Lands Strategy (REDES)

The REDES is being prepared by DoP and will inform Council's proposed draft Wyong LEP 2011. The CCRS states that REDES is being prepared to assist job growth in response to the forecasted population growth for the Shire to 2031. It aims to maintain the region's environmental and lifestyle attributes while diversifying and deepening the economic base over the next 25 years.

Central Coast Regional Conservation Plan (RCP)

The Central Coast RCP is being prepared to identify state and regional biodiversity values including buffer areas and aims to provide certainty for development. The RCP is being prepared by the Department of Environment, Climate Change and Water (DECCW). While much of the emerging biodiversity planning is focused in the northern areas of the Shire, the recommendations are likely to recognise the areas of conservation value on the Peninsula and provide adequate buffer areas. The Strategy will ensure consistency with the RCP by focusing growth in existing urban areas while ensuring adequate mitigation of potential 'edge' affects.

Section 117 Directions

Section 117 of the Environmental Planning and Assessment Act, 1979 (EP&A Act) allows the Minister for Planning to prescribe matters that must be incorporated in draft planning instruments. The Section 117 Directions are important as guiding factors for the Strategy because it will form the basis of a future draft local environmental plan for Toukley.

The Section 117 Directions specify circumstances in which a draft plan can vary from prescribed requirements. This generally requires strong justification, backed up by:

- A strategy dealing with the issue prepared by Council and approved by the Director-General of DoP
- An environmental study prepared under Section 57 of the Act, or
- Compliance with any relevant regional strategy prepared by DoP

Section 117 Directions that are relevant to the Strategy are set out below. The future draft LEP for Toukley will be required to be consistent with the Section 117 Directions or be able to justify inconsistencies with their policy requirements. Comments on the Strategy in relation to each Direction are also included. Direction 2.2 (Coastal Protection) raises the most substantive issues that will need justification in the forthcoming stages of the planning process.

Direction 1.1 – Business and Industrial Zones

This direction aims to ensure that LEPs are consistent with the objectives of Direction 1.1, ie. encourage employment growth in suitable locations; protect employment land in business and industrial zones; and support the viability of identified strategic centres.

LEPs must retain the areas and locations of existing business and industrial zones; not reduce the total potential floor space area for employment uses and related public services in business zones; not reduce the total potential floor space area for industrial uses in industrial zones; and ensure that proposed new employment areas are in accordance with a strategy that is approved by the Director-General of DoP.

Direction 2.1 – Environmental Protection Zones

This direction aims to facilitate the protection and conservation of environmentally sensitive areas. LEPs that apply to land within environmental protection zones or land otherwise identified for environmental protection purposes shall not reduce the environmental protection standards that apply to the land.



Photo 14: Toukley shops adjoining the Village Green

Direction 2.2 – Coastal Protection

LEPs shall include provisions that give effect to and are consistent with the NSW Coastal Policy: A Sustainable Future for the NSW Coast, 1997; Coastal Design Guidelines, 2003 and the Coastline Management Manual, 1990. The coastal zone was extended in late 2005 and now applies to the Toukley Peninsula.

The Strategy contains elements that are not consistent with this Direction, primarily in relation to the scale of development envisaged in certain pockets of the Peninsula. This aspect of the Strategy will require consultation with DoP and demonstrated justification to gain support from the Director-General.

Direction 2.3 – Heritage Conservation Areas

LEPs must contain provisions that facilitate the conservation of items, places, buildings, works, relics, movable objects or precincts of environmental heritage significance to an area; Aboriginal objects or Aboriginal places that are protected under the National Parks and Wildlife Act, 1974; Aboriginal areas, Aboriginal objects, Aboriginal places or landscapes identified by an Aboriginal Heritage survey prepared by or on behalf of an Aboriginal Land Council, Aboriginal body or public authority.

Direction 2.4 – Recreation Vehicle Areas

This Direction aims to protect sensitive land or land with significant conservation values from adverse impacts from recreation vehicles. LEPs shall not enable land to be developed for the purpose of a recreation vehicle area where the land is within an environmental protection zone; where the land comprises a beach or dune adjacent to or adjoining a beach; or where the land is not within an area or zone specified by the Direction 2.4 Recreation Vehicle Areas.

The Strategy will remain consistent with this Direction given no additional areas within the Toukley Peninsula are intended for recreational vehicles.

Direction 3.1 – Residential Zones

LEPs shall include provisions that encourage the provision of housing that will broaden the choice of building types and locations available in the housing market; make more efficient use of existing infrastructure and services; reduce the consumption of land for housing and associated urban development on the urban fringe; and be of good design. This Direction states new LEPs shall not contain provisions which will reduce the permissible residential density of land unless justified by a strategy which gives consideration to the objective of this direction, identifies the land which is the subject of the draft LEP (if the draft LEP relates to a particular site or sites), and is approved by the Director-General of DoP.

The Strategy includes recommendations for revised residential zones that would reduce the permissible residential density in certain areas. This in part aims to bring the land use zones into line with the provisions of the NSW Coastal Design Guidelines through the introduction of building height controls; and to rationalise the spatial distribution of residential densities around the Toukley Town Centre while overall, the residential dwelling and population targets on the Toukley Peninsula are increased. On this basis, the case will be made to justify the inconsistencies with the Direction.

Direction 3.2 – Caravan Parks and Manufactured Home Estates

To provide for opportunities for caravan parks and manufactured home estates (MHEs), Councils shall identify zone locations and provisions for caravan parks; retain provisions that permit development for the purposes of a caravan park to be carried out on land; or in the case of a new principal LEP, zone the land to facilitate the retention of the existing caravan park.

The location of MHEs are to consider the principles listed under Clause 9 of SEPP No. 36 and include provisions that the subdivision of MHEs by long term lease of up to 20 years or, under the Community Land Development Act, 1989 be permissible with consent.

Direction 3.3 – Home Occupations

To encourage the carrying out of low-impact small businesses in dwelling houses; draft LEPs shall permit home occupations to be carried out in dwelling houses without the need for development consent.

Direction 3.4 – Integrating Land Use and Transport

This Direction aims to ensure that urban structures, building forms, land use locations, development designs, and subdivision and street layouts achieve the following planning objectives:

- a Improving access to housing, jobs and services by walking, cycling and public transport, and
- b Increasing the choice of available transport and reducing dependence on cars, and

- c Reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and
- d Supporting the efficient and viable operation of public transport services, and
- e Providing for the efficient movement of freight

This Strategy aims to be underpinned by these principles, which will be integrated into the key recommendations.

Direction 4.1 – Acid Sulphate Soils (ASS)

Much of the Strategy area is low lying and contains acid sulphate soils (ASS). When exposed these soils can generate acid drainage. This can lead to contamination of creeks and waterways which can kill aquatic life. Disturbance of ASS should be avoided.

All development should be conducted using the ASS Planning Guidelines prepared by DoP. Zoning provisions in Clause 15 of Wyong LEP 1991 currently specify development requirements.

Where a change of use is proposed, such as at Canton Beach, there may be a need to confirm the appropriateness of the change of land use given the presence of ASS, or identify measures that would need to be employed to properly manage local construction impacts where these soils are encountered. The Strategy is expected to be able to demonstrate consistency with this Direction.

4.2 Mine Subsidence and Unstable Land

The aim of this Direction is to prevent damage to life, property and the environment on land identified as unstable or potentially subject to mine subsidence. Councils shall consult with the Mine Subsidence Board in preparing draft LEPs that would permit development in a Mine Subsidence District.

4.3 Flood Prone Land

The objective of this Direction is to ensure that development of flood prone land is consistent with the NSW Government's Flood Prone Land Policy and the principles of the *Floodplain Development Manual 2005*; and to ensure that the provisions of an LEP on flood prone land is commensurate with flood hazard and include considerations of the potential flood impacts both on and off the subject land.

4.4 Planning for Bushfire Protection

This Direction aims to protect life, property and the environment from bushfire hazards, by discouraging the establishment of incompatible land uses in bushfire prone areas; and to encourage the sound management of bush fire prone areas. Draft LEPs shall have regard to Planning for Bushfire Protection 2006, introduce controls that avoid placing inappropriate developments in hazardous areas, and ensure that bushfire hazard reduction is not prohibited with the Asset Protection Zone (APZ).

For infill development (that is development within an already subdivided area such as the existing urban areas on Toukley Peninsula), where an appropriate APZ cannot be achieved, provide for an appropriate performance standard, in consultation with the NSW Rural Fire Service. In the preparation of a draft LEP a Council shall consult with the Commissioner of the NSW Rural Fire Service under section 62 of the EP&A Act, and take into account any comments made.



Photo 15: Interface between Toukley Wetland and private property

Direction 5.1 – Implementation of Regional Planning Strategies

The objective of this direction is to give legal effect to the vision, land use strategy, policies, outcomes and actions contained in regional strategies. This Direction applies to land covered by the CCRS, which includes the Toukley Peninsula. While the Direction applies specifically to the preparation of a draft LEP, a local planning strategy such as this should be consistent with the vision, land use strategy, policies, outcomes and actions contained in the CCRS.

State Environmental Planning Policies (SEPPs)

Made by the Minister for Planning, SEPPs deal with issues significant to the State and people of NSW. There are currently over 70 that have been gazetted applying to all, or parts, of NSW. Those of particular relevance to the Toukley Peninsula and this Strategy are discussed below.

SEPP No. 4 – Development Without Consent and Miscellaneous Complying Development

SEPP No. 4 allows for relatively minor changes of land or building use and certain types of development without the need for formal development applications. The types of development covered in the policy are outlined in the provisions of the SEPP.

SEPP No. 6 – Number of Storeys in a Building

SEPP No. 6 sets out a method for determining the number of storeys in a building, to prevent possible confusion arising from the interpretation of environmental planning instruments.

SEPP No. 10 – Retention of Low-Cost Rental Accommodation

SEPP No. 10 requires the local Council's consent and the Director-General of DoP's concurrence to demolish, alter or change the use of a boarding house. Consent is required to strata-subdivide a low-cost residential flat building or boarding house. Before granting consent or concurrence, the Council and the Director-General are required to take into account the availability of comparable accommodation.

SEPP No. 10 requires structural soundness and fire safety of a building, estimated costs of necessary improvements, and the financial viability of continuing to run boarding houses.

SEPP No. 14 – Coastal Wetlands

SEPP No. 14 aims to ensure coastal wetlands are preserved and protected for environmental and economic reasons. The policy applies to local government areas outside the Sydney metropolitan area that front the Pacific Ocean. The policy identifies over 1,300 wetlands of high natural value from Tweed Heads to Broken Bay and from Wollongong to Cape Howe. Land clearing, levee construction, drainage work or filling may only be carried out within these wetlands with the consent of the local council and the agreement of the Director General of DoP. Such development also requires an environmental impact statement to be lodged with a development application. The policy is continually reviewed. It has, for example, been amended to omit or include areas, clarify the definition of the land to which the policy applies and to allow minimal clearing along boundaries for fencing and surveying.

A significant SEPP No. 14 - Coastal Wetland exists to the north-east of the Toukley residential area, south of the Toukley Golf Course. The area is zoned 7(g) Wetlands Management Zone. The important functional and ecological roles, which are documented in the Critical Wetlands Study (Wyangong Shire Council, 1994) include:

- Control of flood levels
- Maintain stream flow through dry periods
- Filter out sediments and rubbish which would otherwise clog our lakes and beaches
- Absorb nutrients which would increase weed growth in the waterways and lakes

In addition to these benefits, wetlands provide many secondary values including:

- Fish breeding grounds
- Habitat for a diverse range of plant and animal species including significant migratory bird habitats under JAMBA and CAMBA
- Natural scenic values
- Educational and recreational opportunities

SEPP No. 19 – Bushland in Urban Areas

SEPP No. 19 protects and preserves bushland within certain areas, as part of the natural heritage or for recreation, educational and scientific purposes. The policy is designed to protect bushland in public open space zones and reservations, and to ensure that bush preservation is given a high priority when LEPs for urban development are prepared.

SEPP No. 21 – Caravan Parks

SEPP No. 21 ensures that where caravan parks or camping grounds are permitted under an environmental planning instrument, movable dwellings, as defined by the *Local Government Act, 1993* are also permitted. SEPP No. 21 ensures that development consent is required for new caravan parks and camping grounds and additional long-term sites in existing caravan parks. In addition, SEPP No. 21 enables long-term sites in caravan parks to be subdivided by leases of up to 20 years.



Photo 16: Lakeside Caravan Park, Canton Beach

SEPP No. 32 – Urban Consolidation (Redevelopment of Urban Land)

SEPP No. 32 states that the State Government's intention is to ensure that urban consolidation objectives are met in all urban areas throughout the State. The Policy focuses on the redevelopment of urban land that is no longer required for the purposes it is currently zoned or used, and encourages local Councils to pursue their own urban consolidation strategies to implement the aims and objectives of the policy.

SEPP No. 36 – Manufactured Home Estates

SEPP No. 36 helps establish well-designed and properly serviced MHEs in suitable locations. Affordability and security of tenure for residents are important aspects. To enable the immediate development of estates, the policy allows MHEs to be located on certain land where caravan parks are permitted. SEPP No. 36 prescribes criteria that a proposal must satisfy before the local Council can approve development; and permits, with consent, the subdivision of the estate by either community title or by leases of up to 20 years.

SEPP No. 53 – Metropolitan Residential Development

SEPP No. 53 applies to Councils in the Greater Metropolitan Region that have not prepared suitable residential development strategies that address local housing needs while contributing to the metropolitan objective of more compact cities. The policy contains development controls for integrated housing and dual occupancy.

While Council's current Residential Development Strategy (RDS) negates the need for SEPP No. 53, its objectives have been considered in the preparation of the Strategy.

SEPP No. 65 – Residential Design Quality

SEPP No. 65 aims to improve the design quality of residential flat developments in NSW. SEPP No. 65 is accompanied by the NSW Residential Flat Design Code.

The policy defines residential flat buildings as buildings that have three or more storeys and four or more self-contained dwellings. In the case of a mixed use commercial and residential development the policy applies to the residential component only.



Photo 17: Town house, NSW Coast

The policy contains 10 design quality principles that bring together the primary factors that underpin good design. The rationale of the SEPP 65 design quality principles is that good design is inextricably linked to a full appreciation of site context, providing sustainable living environments and serving the public interest.

Draft planning instruments are required to make sure that provisions for residential flat buildings achieve the SEPP No. 65 design principles. This will be relevant to the components of the Strategy that propose multi-unit or mixed development zones, and will require consideration of implications of setback, solar access, amenity and other numerical provisions of the Residential Flat Design Code.

The Strategy will be referred to the Central Coast Design Review Panel for comments concurrently with the community consultation phase.

SEPP No. 71 – Coastal Protection

The NSW coastal zone was extended in November 2005 to cover the Central Coast, metropolitan area and the Illawarra. The entire Toukley Peninsula is included in the coastal zone and is therefore subject to SEPP No. 71 (Coastal Protection).

SEPP No. 71 contains coastal planning objectives and other issues that must be considered by the Strategy. These cover:

- Protection of the visual amenity of the coast
- An aim to ensure that the type, bulk, scale and size of development is appropriate for its location and that it protects and improves natural scenic quality
- Consideration of the suitability of development in terms of type, location and design, and the relationship with the surrounding area

- Consideration of any detrimental impacts on the amenity of the coastal foreshore including any significant loss of views from a public place to the coastal foreshore
- Means to encourage compact towns and cities

The NSW Coastal Design Guidelines support SEPP No.71. The Guidelines support a hierarchical approach to planning for coastal settlements. They provide a framework for analysing and understanding the relationships between coastal towns and villages by describing typical characteristics of settlement types.

One of the underlying concerns of the Coastal Design Guidelines is that poor development and pressures for growth can erode the uniqueness and character of existing coastal settlements. Inappropriately sited development can also threaten the fragility of the natural coastal environment. The Guidelines are intended as a resource for testing settlement strategies and development controls, and contain controls for coastal villages and towns that should inform and guide the Strategy and future controls for Toukley.

Under SEPP No. 71 land within 100m of mean high water mark is defined as a 'sensitive coastal location'. Any buildings taller than 13m within the 100m line are now determined by the Minister for Planning. This means that all buildings of five storeys proposed in this Strategy are to be determined by the Minister.

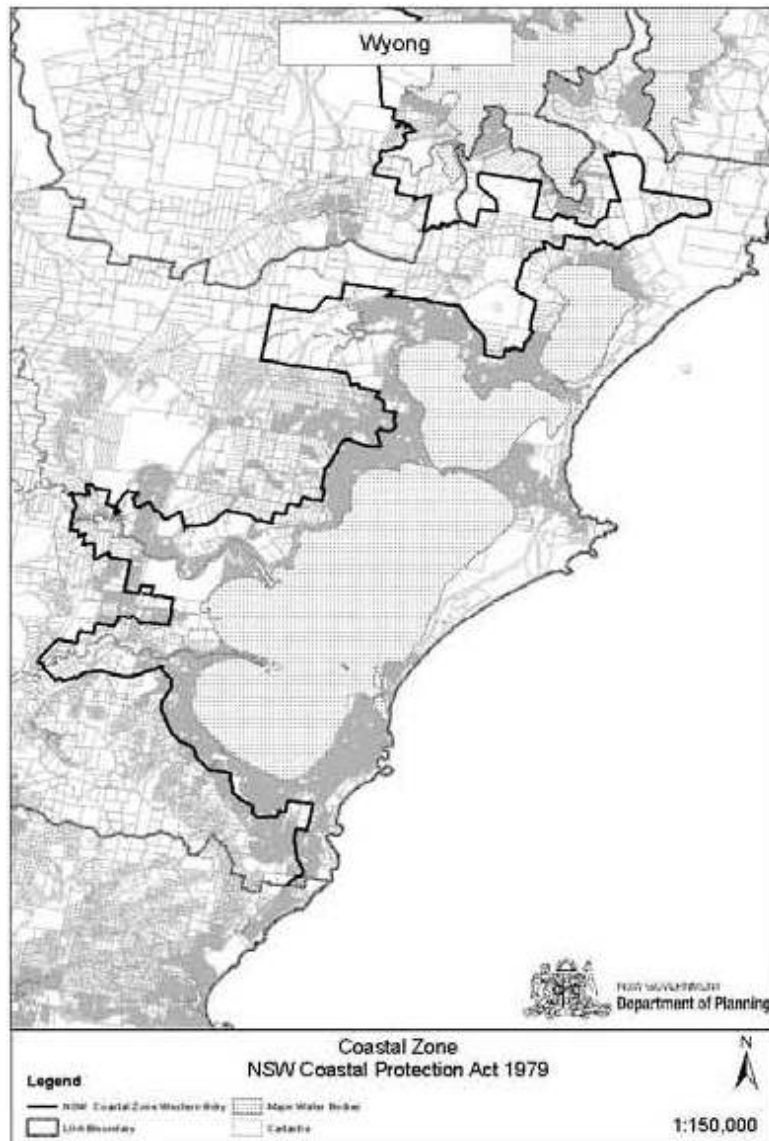


Figure 4: Coastal Zone Wyong LGA

SEPP - Housing for Seniors or People with a Disability

This SEPP encourages the development of high quality accommodation for our ageing population and for people who have disabilities. LEP Practice Note PN 06-001 states that the provisions of SEPP 9 (Group Homes), which has been repealed by SEPP (Housing for Seniors or People With a Disability) have been wholly or partially incorporated into the provisions of the Standard Instrument.

SEPP - Building Sustainability Index: BASIX

This SEPP ensures both the effective introduction of BASIX in NSW and consistency in the implementation of BASIX throughout the State by overriding competing provisions in other environmental planning instruments and development control plans (DCPs).

SEPP - Major Projects

This SEPP defines certain developments that are major projects under Part 3A of the EP&A Act and determined by the Minister for Planning. The SEPP lists State Significant Sites.

SEPP – Infrastructure

This SEPP provides a consistent planning regime for the infrastructure and the provision of services across NSW, along with providing consultation with relevant public authorities during the assessment process. In addition, the SEPP supports greater flexibility in the location of infrastructure and service facilities along with improved regulatory certainty and efficiency.

2.2 Local Policies and Studies

Shire Strategic Vision (SSV)

The SSV was adopted by Council in September 2009. It sets forward Council's vision over the next 20 years and provides a direction for the future of the community focusing on long term benefits. The SSV sets the framework for the Shire's priorities in order that Council may focus on the objectives that make the biggest improvement to our overall quality of life. As part of this framework, eight key objectives have been identified to assist Council in achieving the vision. These objectives are that, in the future, Wyong Shire will be a place where:

- Communities are vibrant, caring and connected
- There will be ease of travel
- Communities will have a range of facilities and services
- Areas of natural value will be enhanced and maintained
- There will be a sense of community ownership of the environment
- There will be a strong sustainable business sector
- Information technology will be world's best, and
- The community will be educated, innovative and creative

It is important that the strategies developed to address the local issues and opportunities underpin the delivery of the key objectives of the SSV.

Wyong Shire Local Environmental Plan 1991 (Wyong LEP 1991)

Wyong LEP 1991 is the primary planning instrument that applies to Wyong Shire. It establishes a framework for the range of land use activities that occur within the Shire and across the Toukley Peninsula. The commercial areas of the Peninsula are zoned 3(a) Business Centre, including the Toukley Town Centre, East Toukley, Toukley West shops and the neighbourhood centre at Norah Head. The residential Precincts surrounding the Toukley Town Centre include 2(b) Multiple Dwelling Residential, 2(c) Medium Density Residential and 2(d) High Density Residential zoned areas, while the majority of the residential Precincts are zoned 2(a) Residential.

The 3(a) and 2(d) zones do not have any height limits under the current planning controls. The main zones in the Strategy area are:

Table 2: Main Zones in Strategy Area

Zone	Description
2(a) Residential	A low density residential zone catering for detached housing up to two storeys in height. Limited non-residential uses are permitted in the 2(a) zone. Detached dual occupancy developments are permissible in the zone but are subject to a minimum lot size of 450m ² for subdivision.
2(b) Multiple Dwelling Residential	A multiple dwelling zone catering for a range of residential buildings at a two storey scale, particularly villa type housing. The zone also provides for a wider range of non-residential uses including boarding houses, motels and tourist accommodation. Subdivision of dual occupancy developments is currently prohibited in the 2(b) zone.

Zone	Description
2(c) Medium Density Residential	A medium density zone catering for residential flat buildings up to three storeys in height except in certain defined locations. The 2(c) zone provides for other non-residential uses in a manner similar to the 2(b) zone.
2(d) High Density Residential	A high density residential zone which occurs along Main Road on either side of the Toukley Town Centre. The RDS identified that the 2(d) zoned lands in Toukley were inappropriately located and recommended their removal. Council resolved on 12 February 2003 to prepare an amendment to the Wyong LEP 1991 to rezone all 2(d) land in Toukley to 2(c). The plan was exhibited, however, DoP refused to make the plan citing inconsistency with Section 117 Direction G9.
3(a) Business Centre	A general business zone providing the primary opportunities for retail and commercial uses. Development in the 3(a) zone is subject to a maximum FSR of 0.5:1 (clause 42) in local and neighbourhood centres. This FSR does not apply to the Toukley Town Centre while it is designated a Regional Centre by the Retail Centres DCP Chapter 81.
6(a) Open Space and Recreation	The 6(a) zone objectives seek to provide for the open space and recreation needs of the community. Leisure and recreation oriented developments which satisfy the zone objectives are permissible and include the Canton Beach Tourist Park (caravan park).
7(b) Scenic Protection:	The 7(b) zone restricts the type and scale of development on land with scenic value to ensure the scenic qualities are not prejudiced, additional traffic is not generated or increase ribbon development encouraged, the viability of existing commercial centres is not prejudiced and there is no adverse impact on the region's water resources. Camping or caravan parks are a discretionary use in the zone.

Zone	Description
7(g) Wetlands Management:	A conservation based zone aiming to protect and conserve locally important wetlands. Permissible development is limited and does not include tourist accommodation or camping and caravan sites.

Wyong LEP 1991 will be replaced and superseded by the Comprehensive Local Environmental Plan (Comprehensive LEP) being prepared for the Shire in order to comply with the Standard Instrument Order. It expected that the Wyong Local Environmental Plan 2011 (Wyong LEP 2011) will be completed in 2011.

This Strategy will make recommendations in relation to land use based upon the existing zone convention contained in Wyong LEP 1991. Recommended land use changes will be clearly expressed in order to determine an equivalent zone under the Standard Instrument. Use of the existing zones will provide clarity for the purposes of consulting with stakeholders who are generally unfamiliar with the Standard Instrument zones. Furthermore, while some of the zone equivalents have been determined at a preliminary level, many of the equivalent zones are yet to be established through the development of the Settlement Strategy and Comprehensive LEP.

Where possible, this Strategy will contain discussion concerning appropriate equivalent Standard Instrument zones. In addition to zone maps, FSR and height maps will be required as part of any LEP amendments arising from the recommendations of this Strategy.

DoP has released a table (see below) of "Equivalent Zones" between those currently contained in Wyong LEP 1991 and the Standard Instrument zones. This provides the best tool of reference to compare possible future equivalent zones, until the completion of the Wyong Comprehensive LEP.

Table 3: Equivalent Zones for the Application of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

Standard Instrument Zone	Equivalent Zone	Comment
R1 – General Residential	2(b) Multiple Dwelling Residential, 2(e) Urban Release Area	
R2 – Low Density Residential	2(a) Residential	
R3 – Medium Density Residential	2(c) Medium Density Residential	
R4 – High Density Residential	2(d) High Density Residential	
R5 – Large Lot Residential	7(c) Scenic Protection – Small Holdings	
RU1 – Primary Production	1(a) Rural	
RU2 – Rural Landscape	1(c) Non-Urban Constrained Land	
RU3 – Forestry	1(f) Forestry	
RU4 – Rural Small Holdings		
RU5 – Village	1(d) Village	
RU6 – Transition		
B1 – Neighbourhood Centre	3(a) Business Centre	
B2 – Local Centre	3(a) Business Centre	
B3 – Commercial Core	3(a) Business Centre	
B4 – Mixed Use	2(g) Residential Tourist, 3(c) Tourist Business	Please contact Council to confirm the equivalent zone
B5 – Business Development	3(b) Centre Support	
B6 – Enterprise Corridor		
B7 – Business Park	4(c) Business Park	

Standard Instrument Zone	Equivalent Zone	Comment
IN1 – General Industrial	4(a) General Residential, 4(e) Regional Industrial and Employment Development	
IN2 – Light Industrial	4(b) Light Industrial	
IN3 – Heavy Industrial		
IN4 – Working Waterfront		
SP1 – Special Activities		
SP2 – Infrastructure		
SP3 – Tourist		
RE1 – Public Recreation	6(a) Open Space Recreation, 6(b) Regional Open Space and Recreation, 6(c) Proposed Open Space and Recreation	
RE2 – Private Recreation	6(a) Open Space Recreation, 6(b) Regional Open Space and Recreation	
E1 – National Parks and Reserves	8(a) National Parks	
E2 – Environmental Conservation	7(a) Conservation, 7(d) Coastal Land Protection, 7(e) Coastal Lands Acquisition, 7(f) Environmental Protection, 7(g) Wetlands Management	
E3 – Environmental Management	7(b) Scenic Protection	
E4 – Environmental Living		
W1 – Natural Waterways		
W2 – Recreational Waterways		
W3 – Working Waterways		

(Source: Department of Planning, Equivalent Zones, Wyong, August 2009)

Settlement Strategy and Comprehensive Local Environmental Plan

Planning Reforms implemented by DoP have required each Council in NSW to undertake a review of their existing planning instruments. This review entails the standardisation of LEPs in accordance with the Standard Instrument (gazetted in March 2006). Wyong Shire council is required to have gazetted an operational LEP which is consistent with this instrument by March 2011.

In order to achieve a contemporary LEP, WSC has committed to developing a Shire-wide Settlement Strategy, which will inform the preparation of Wyong LEP 2011 and establish new planning directions to guide future development in the Shire.

Wyong Residential Development Strategy (RDS)

The RDS is Council's guiding plan to increase housing availability, diversity and quality. The RDS includes a range of short and medium term actions to enable Council to support metropolitan planning objectives and maintain local sustainability.

The RDS identifies the opportunities for additional housing in the Toukley 2(c) Medium Density Residential and 2(d) High Density Residential zones, noting concerns about the location and suitability of the 2(d) zoned lands. The RDS states Council's intention to remove the 2(d) zone in Toukley and recommends further studies to determine a response to demands for residential, tourist accommodation and recreational facilities in Toukley.

The RDS is under review as part of the development of the Settlement Strategy for the Shire.

Draft Climate Change Policy

Council has developed a draft Climate Change Policy, which provides an overarching policy framework to guide development, strategic and operational planning decisions. The Policy covers all the potential impacts of climate change and is not limited to just one aspect such as sea level rise. It includes guidance on flood planning levels for increased rainfall intensity and management direction for the implications of bushfire and human health implications.

The Policy requires that Council undertake appropriate risk assessments for all vulnerable development, projects or activities against the latest scientific climate change projections to assess the implications and to develop the most feasible adaptation measures.

Until major risk assessments, such as the Coastline Management Plan and the Floodplain Risk Management Plans are completed, the policy requires the adoption of interim measures based on current best practice or Government policy such as the State Government's Sea Level Rise Policy under its Coastal Reforms package. Once the actions determined under the major risk assessments, such as the Coastline Management Plan, have been adopted by Council, the interim measures will no longer be applicable.

Draft Coastline Management Plan

A Coastline Management Plan is being developed by Council to help manage coastal development and address significant issues such as coastal retreat from erosion, coastal and lake flooding and the potential impacts of climate change.

The Plan will help inform all future planning and policy decisions and guide development in the coastal zone, especially in relation to the issue of climate change.

With sea and lake levels potentially rising by up to a metre by the year 2100, many low lying developments along the coast and around the lakes will be affected.

Adapting to the potential impacts of climate change will require very different strategies to manage the coastline than those used in the past. The development of potential sustainable options to address these issues will be a key outcome of the Plan.



Photo 18: Coastal storm damage

Development Control Plan 2005

Toukley Area DCP Chapters

Existing DCP Chapters applicable in the Strategy area are set out below with comments on the future applicability of these plans.

Table 4: DCP Chapters

DCP Chapter	Details	Comment
Chapter 6 - Main Road, Toukley West <i>Applies to land on southern side of Main road, between Dunleigh Street and Yaralla Road.</i>	Aims to define the western edge of the Toukley Town Centre by reducing ribbon development on Main Road. Includes incentives for residential and tourist developments, including 10m height limit and 2(c) density to Beachcomber Parade.	Little redevelopment has occurred as a result of this DCP Chapter. The intent of the DCP Chapter remains valid, however it will be replaced and relevant elements incorporated into a future Toukley Peninsula DCP Chapter.
Chapter 25 - Main Road and Lakeview Street, Toukley	Adopted in 1989 to create a laneway and public carparking across the rear of the properties. Permits a maximum FSR of 1:1.	The laneway and parking areas have been constructed. This DCP Chapter is no longer required, but elements such as the FSR control should be reviewed for the whole of the Toukley Town Centre, for inclusion into a future Toukley Peninsula DCP Chapter. Some transition provisions may be necessary.

DCP Chapter	Details	Comment
Chapter 16 - Toukley East	Adopted in 1990 and updated in 1997. Provides for rear laneway (dedication of a 7m setback at the rear of the affected properties) and a 3.5m setback from Main Road, to improve the streetscape and pedestrian facilities.	The laneway is only partially constructed. Completion is dependent upon redevelopment of Hedor Street end "heritage shop" and Council depot to rear. This Chapter to be repealed and relevant elements incorporated into a future Toukley Peninsula DCP Chapter.
Chapter 4 -Norah Head (Norah Head 3(a) zone)	Adopted in 1986. Creates service lane at rear of commercial properties and includes some basic controls on the external appearance of buildings.	The laneway has been constructed. Controls on building appearance and kerbside parking and footpath upgrades should be incorporated into a future Toukley Peninsula DCP Chapter.
Draft Chapter 41 - Tamar Avenue, Toukley (now not in use)	Dates from 1991. Seeks to provide alternative access to properties on Main Road via Tamar Avenue.	This Chapter has been discontinued given context of current development, including dwelling under construction on Lot 2 DP 518000. Not recommended as part of a future Toukley Peninsula DCP Chapter.
Wyong Development Contributions Plan No. 6 – Toukley District	Updated 2001. Provides background and justification for Section 94 contributions in the area.	Acknowledged.

Other Relevant DCP Chapters

Various other DCP Chapters apply within the Wyong Shire. Key relevant DCP Chapters are set out below with comments on implications to the Strategy.

Table 5: Other Relevant DCP Chapters

DCP Chapter	Details	Comment
Chapter 100 - Quality Housing	Primary DCP Chapter containing requirements for the design and construction of dwelling houses and ancillary developments.	Noted for a future Toukley Peninsula DCP Chapter.
Chapter 99 - Building Lines	Contains building line and setback requirements for residential, commercial and industrial developments.	Noted for a future Toukley Peninsula DCP Chapter.
Chapter 64 - Medium and High Density Development	Applies to residential developments with three or more dwellings. Density is determined by FSR, which varies depending on zone.	Building height and density controls should be noted for Strategy. Development Bonuses within 2(c) and 2(d) zoned land require review for applicability to Toukley area and need for minimum lot width and other performance measures relating to adaptable housing and affordable housing to be considered.

DCP Chapter	Details	Comment
	<p>Floor Space Ratio:</p> <p>2(a) - 0.5:1 2(b) - 0.6:1 2(c) - 0.9:1 2(d) - 1.5:1</p> <p>Building heights:</p> <p>2(a) and 2(b) zones: Two storeys, 7m.</p> <p>2(c) zone: Three storeys, 9m.</p> <p>2(d) zone: merit assessment.</p>	
Chapter 58 - Dual Occupancy Development	Controls for dual occupancy developments. Controls are included on design and appearance of buildings, setbacks, heights, open space areas, landscaping, privacy and parking.	Noted for future Toukley Peninsula DCP Chapter.
Chapter 81 - Retail Centres	Identifies a hierarchy of business centres across Wyong with Toukley as one of six district centres.	Noted for future Toukley Peninsula DCP Chapter.

DCP Chapter	Details	Comment
Chapter 23 - Caravan Parks	Identifies where long term caravan parks will be permitted and clarifies the requirements for DAs and developer contributions.	Agree that new long term caravan parks should meet site planning controls and servicing requirements equivalent to residential dwellings.
Chapter 77 - Coastal Hazards	Identifies coastal land subject to coastal hazards and restrict development of affected land.	Noted. Refer to discussion in Section 117 Direction 2.2.

Retail Centres Strategy and DCP 2005: Chapter 81 Retail Centres

Since 1996 Wyong Shire Council has had an adopted retail hierarchy and plan in place. The latest version the Retail Centres Strategy, prepared by Leyshon Consulting, was adopted in 2007. The Retail Centres Strategy provides policy guidance for retail, commercial floor space (including office space) and 'peripheral sales' including bulky goods and homemakers/lifestyle retailing to ensure that Wyong continues to have a robust and effective framework to guide centre development into the future. Toukley is identified as a District Centre.

The findings of the original strategy plan are incorporated into DCP 2005: Chapter 81 Retail Centres (DCP Chapter 81). DCP Chapter 81 nominates a preferred retail centres hierarchy and identifies the pattern of regional, district, neighbourhood and local centres in Wyong Shire (refer to map on the following page) and outlines Council's requirements for the same. DCP Chapter 81 also contains provisions for centre support (ie. bulky goods) retailing and seeks to limit retailing in existing industrial zoned areas.

Tuggerah Lakes Estuary Management Plan (EMP)

The Toukley Peninsula is surrounded on two sides by two of the three interconnected lagoons that form the Tuggerah Lakes Estuary. The Estuary is largely isolated from the sea, which creates a special environment that supports a huge diversity of plants and animals, making it one of Wyong Shire's most valued natural assets. However, continued fast growth in the region means the lakes are under considerable threat. The beauty of the lakes attracts both residents and tourists. As a result, a wide range of commercial activities, including fishing, boating and tourism, take place on or around the lakes.

For the past ten years, in partnership with the NSW Department of Natural Resources, Council has been developing a management plan for the protection of the Tuggerah Lakes in line with the State Government's Estuary Management Policy. Completion of the Tuggerah Lakes Estuary Process Study (2001) and Management Study (2005) provided Council with a sound basis to formulate the EMP. The EMP is based on sound science and an appreciation of the community's values and perspectives.

The EMP is the final document which provides detailed actions necessary to achieve the management objectives. It also states why these are appropriate, who is responsible for doing them, how long each should take, how much it will cost and how it will be evaluated. If implemented fully, the actions listed in the EMP have the potential to halt the current rate of decline we are experiencing in our creeks, wetlands and lakes.

It aims to provide a direct and tangible result by improving water quality and odour, restoring healthy foreshores, creating excellent public facilities, ensuring healthy connecting river and creek habitats, maintaining an ocean exchange, and providing a sustainable fish and prawn population for recreation and commercial fishing.

Identified priorities include:

- Rehabilitation of saltmarsh communities
- Improving bike tracks, picnic areas and other foreshore amenities
- Building wetlands and other catchment improvements like litter traps
- Streambank rehabilitation and stormwater improvements in certain rivers and creeks, and
- Building on the capacity of the community and Council staff to be informed and active participants in managing the lakes

There are four main Action Plans, each with a different focus, developed by teams of stakeholders with a different responsibility or interest in the outcome. The actions are:

- 1 Water Quality
- 2 Ecology
- 3 Socio-Economic Wellbeing, and
- 4 Knowledge and Management



The Tuggerah Lakes Estuary and Coastal Management Committee oversees the implementation of the plan. The Committee is made up of local experts in conservation, fishing and marine areas, four Wyong Shire Councillors, Council staff and representatives of seven NSW Government agencies.

The EMP will have a pivotal role in implementing some of the key recommendations arising from this Strategy.

Toukley Urban Design and Development Plan 1996

The 1996 Toukley Urban Design and Development Plan (the Plan) focused on the Toukley Town Centre, and recommended various townscape improvements. The Village Green, streetscape and footpath improvements within the Town Centre have been significant achievements of the Plan. Improvements to access, parking and the foreshore area at Canton Beach have also contributed to improved amenity.

A number of recommendations of the Plan remain relevant and have been taken into account in the Strategy. This includes:

- Retain the Town Centre's coastal holiday village character
- Ensure zonings of the Town Centre to be sufficiently flexible to attract and allow for commercial, tourist and entertainment uses
- Provide a visual, physical and landscape connection between the Town Centre and Canton Beach
- Limit ribbon development along Main Road

Toukley Traffic Study

In 1994 Council considered a number of options to address increasing traffic numbers through the Toukley area. The aim of the study was to:

- Ensure road capacity would be adequate to meet future traffic volumes
- Ensure safe and efficient vehicle movement through the area for local and through traffic
- Achieve environmental and safety standards which meet community expectations
- Provide for effective opportunity for business and commercial growth in Toukley

Council adopted the option that residents now know as the 'bypass route' via Dunleigh Street, Moss Ave, Crossingham Street, Evans Street and Oleander Street. This option also involved an alternative to Oleander Street passing through the southern section of the Toukley Treatment Works. It was to connect with a new road from Norah Head. However, this road has since been disbanded.

In the late 1990's improvements to Main Road through the Toukley business district were carried out.

Council Officers prepared a draft Local Area Traffic Management Plan (LATM Plan) in conjunction with the preparation of the 2006 draft Strategy, which identified the implications of the development recommendations. These involved recommendations for some intersection upgrades and traffic management and safety measures. The draft LATM Plan has been revised in conjunction with the Strategy to account for the impacts of revised population and dwelling densities and distribution.



Photo 19: Medium density housing, Hunterford Estate, Oatlands

Promoting Housing Choice: A Local Housing Strategy for Wyong

The Local Housing Strategy aims to provide a cohesive framework to address the housing choice issues affecting the Shire population. It identifies Council's commitment and role in working towards minimising the level of housing stress in the Shire by retaining and expanding the provision of diverse housing forms. It also identifies the roles that other stakeholders can play such as State Government, the non-governmental sector and the business sector.

This document is designed to inform Wyong Shire Council, the State Government, the business and non-governmental sector and the wider community on the current housing situation in the Shire and make recommendations on ongoing sustainable strategies to protect housing choice and promote and produce new and diverse housing options.

The Local Housing Strategy is designed to achieve the following objectives :

- To protect existing, and provide new opportunities for, diverse housing choices, targeting very low, low and moderate income households
- To promote community wellbeing through better provision of housing that reflects the diverse population in the Shire
- To promote the provision of housing choice in a way that contributes to the sustainability of communities, local economies and the environment
- To ensure current and future affordable housing is accessible to transport, employment, services, and offer the social support networks of strong vibrant communities
- To promote the provision of housing choice that is appropriate, adaptable and accessible and that allows for its use by everyone irrespective of the user's age, level of mobility, health or lifestyle
- To identify an appropriate process that allows for the participation and capacity development of the community, the business and community sector, State Government and Wyong Council in regard to housing choice to ensure the ongoing sustainability of the Strategy

WaterPlan 2050

Gosford City and Wyong Shire Councils, which together manage the Central Coast's water supply system, have developed a plan to ensure sufficient water supply in the short-term as well as long into the future. Key to this future planning has been the development of WaterPlan 2050 which is the culmination of extensive technical studies and ongoing community involvement. It sets out the strategy to secure and sustain our water supply system over the next 45 years.

WaterPlan 2050 contains a combination of actions to:

- Further enhance the current water supply system
- Continue to use water as efficiently as possible
- Develop additional future sources of water

Gosford City and Wyong Shire Councils formally adopted WaterPlan 2050 in July and August 2007, and implementation of it is therefore now underway.

The majority of the Central Coast's town water supply comes from harvesting water flows from our four local streams – Wyong River, Ourimbah Creek, Mangrove Creek and Mooney Creek – along with Mardi and Mooney Dams. Mangrove Creek Dam is the Central Coast's main water storage facility and provides back-up supplies for use during drought conditions. Demand for town water on the Central Coast on a per capita basis has been steadily falling since the 1980s. This follows the introduction of user pays pricing and community awareness of the need to conserve water. This reduction, however, is offset by the Central Coast's growing population.

A key project in WaterPlan 2050, to enhance the existing water supply system, is a 21 kilometre pipeline that will be built linking Mardi and Mangrove Creek Dams, together with two new pump stations. One pump station will enable water to be transferred between the two dams; the other will increase water extractions from Wyong River. This additional water will be harvested from Wyong River and Ourimbah Creek during medium and high flows and temporarily stored in Mardi Dam before being pumped through to Mangrove Creek Dam. It is estimated the Mardi-Mangrove Link project could be completed by the end of 2010, subject to NSW Government regulations and approvals.



Photo 20: Toukley Golf Course

Recreation and Sporting Facilities Strategy

The Recreation and Sporting Facilities Strategy aims to promote “a community that has opportunities to pursue leisure time activities suitable to their age, interests and physical activities.” Recreation and sporting facilities are very significant to community health, well being and the development of social capital and engagement. There are especially identifiable health and social benefits for children from participating in team sports. The 5 to 24 year old and over 55 year old age bracket demand for access to public open space facilities and a new diversity will increase activities.

The draft Recreation and Sporting Facilities Strategy acts as a complement to other projects to establish a flexible and efficient system of facilities for recreation and sporting activities in Wyong Shire. The key objectives are to:

- Improve clarity of decision making
- Support and develop the recreation and sporting community
- Improve adaptability of facilities
- Protect capacity and sustainability of existing facilities
- Identify opportunities to increase the capacity and sustainability of facilities
- Plan for and procure new facilities

Draft Bicycle and Shared Pathway Strategy

Council is developing a strategy aimed at establishing a long term vision for cycling and shared pathways and to identify the framework required to achieve an improved cycling environment over the next 20 years. Specifically, the strategy will consider:

- How to provide a safe and interconnected network
- Actions which can encourage, support and promote cycling and shared pathway use
- How to integrate bicycle considerations within all strategic planning and development
- Actions necessary to maintain and support the existing and future pathways
- An action plan for the delivery of the proposed network
- Costs associated with the delivery and maintenance of the network

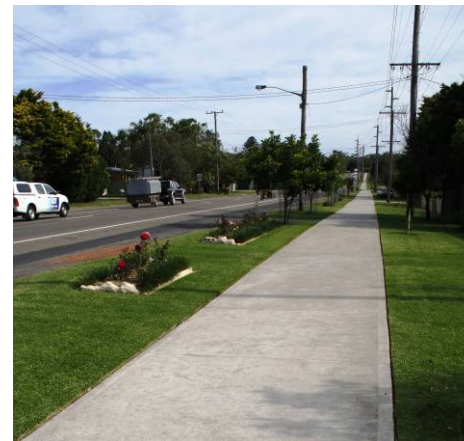


Photo 21: Shared pathway, Norville

Toukley Economic Viability Analysis Study

Dickson Rothschild and SGS undertook an Economic Viability Analysis Study for the Toukley area in 2007, which was completed in 2008. The study examined the viability of six approved DAs and of nine development scenarios developed by Dickson Rothschild across four selected sites.

SGS developed and ran a residual land value (RLV) test for each case study which included potential revenue from development and costs of development. The output from the model, the RLV, reflects the price at which it is feasible for a developer to purchase the land. If the RLV is greater than the market value of the land, then the development is likely to be financially feasible

The development tested was found to be unfeasible after accounting for appropriate profit and risk in almost every case. This is because the revenue side of the RLV calculated is low when compared to the cost side. This is characteristic of a market in a slump period, conditions that existed at the time of the study (2007) and which remain in 2009. A summary of cost and revenue characteristics is given below:

- **Cost side sensitivity:** On the cost side, the RLV is most sensitive to variations in construction costs, which are likely to be dependent on:
 - The location and nature of the site – for example: access, the slope of the site, the depth of the water table etc
 - The nature of the development – for example: the level of finishes, extent of air conditioning, height of building, number and location of lifts, floor to wall ratio, type of façade construction and materials, and

- Other factors – for example: the distance from suppliers and availability of labour, the cost associated with solving any groundwater issues relating to providing adequate basement vehicle parking facilities, and the like

- **Revenue side sensitivity:** On the revenue side, the RLV is most sensitive to changes in the achievable property sales price. This is likely to be influenced by:

- The nature of the development and how it compares with other available housing stock
- The volume of competing supply that is available at the time of sale, and
- The nature and volume of demand for apartments

The key findings and recommendations of the study include:

- RLV is most impacted by achievable sales price and construction costs
- Fluctuations in **construction costs** and **sale prices** tend to have a much greater influence on the feasibility than variations in planning fees and contributions
- Perceived flexibility in planning controls can fuel speculation, which plays a key role in determining the potential sale price of land

Certainty in the planning regulations can help to keep land values, permissible development and development feasibility in line. Based on the design testing and economic feasibility of the proposed development options for each site, Dickson Rothschild arrived at the following recommendations/conclusions for the current development controls:

- In order to limit speculation, an amount of certainty is necessary especially with respect to height (as in number of habitable storeys) and yield. By creating more specific development controls, Council can help to reduce speculation and inflated property values.
- An enhanced yield and height usually means enhanced construction costs and therefore higher sales prices, and does not necessarily translate to feasible developments especially in the current market.
- The cost of basement parking is significant in Toukley due to the high water table. Better building economy may be achieved by limiting carparking to one basement carparking level and considering a partially sunk basement and screened undercroft parking at grade in order to reduce costs. However due consideration must be given to amenity of ground level uses.
- This is likely to necessitate a review of some existing development controls relating to medium and high rise residential and mixed use carparking and building height.

The Toukley Peninsula is facing a range of issues that need to be addressed by the Strategy. These are set out below together with comments on the implications to the Strategy.

3.1 Existing Conditions and Planning Issues

The approach to discussing existing conditions, context and planning issues is based upon the six component chapters established by the CCRS. The Chapters are as follows:

- 3.1.1 Centres and Housing
- 3.1.2 Economy and Employment
- 3.1.3 Environment, Heritage, Recreation and Natural Resources
- 3.1.4 Natural Hazards
- 3.1.5 Water and Infrastructure
- 3.1.6 Transport

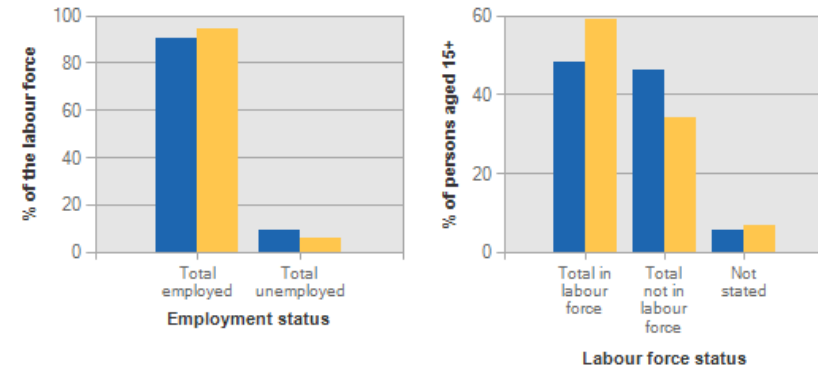
3.1.1 Centres and Housing

Background Data and Community Profile

The following analysis was undertaken for the 2003 Toukley Planning Study, but has been updated with current data. The trends and key features described continue to be relevant to the current context for Toukley.

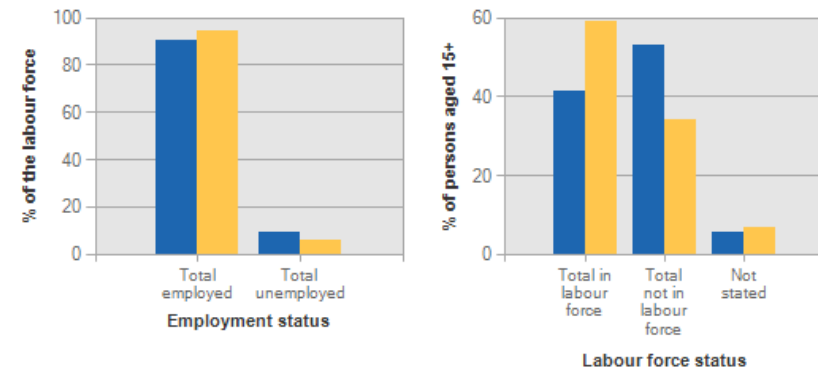
Toukley's population structure is defined by relatively low growth rates, a high proportion of the community being aged over 60 years and unusually high numbers not in the labour force including almost 50 percent of the population aged over 15 years compared to 34.3 percent for NSW (Source: ABS 2006 Census).

Employment and labour force status, Noraville - Norah Head - Canton Beach Sub Area and the New South Wales, 2006 (Enumerated data)



Source: Australian Bureau of Statistics, 2006 Census of Population and Housing (Enumerated)

Employment and labour force status, Toukley Sub Area and the New South Wales, 2006 (Enumerated data)



Source: Australian Bureau of Statistics, 2006 Census of Population and Housing (Enumerated)

Figure 5: Employment and Labour Force Status

The graphs above (Figure 5) each highlight the unemployment rate for the suburb of Toukley compared to NSW and for the suburbs of Noraville, Norah Head and Canton Beach compared to NSW respectively. Although the Shire’s unemployment rate reduced from 10 percent in 2001 to 7.2 percent in 2006, the rate for the Toukley Peninsula was 9.4 percent. The graphs also show the low labour-force participation rate relative to NSW.

The area has recorded low population growth rates or low decline across the last two census periods, and until recent times, had seen relatively small increases in housing stocks despite significant areas of land zoned for increased residential density. However, this is likely to change with increasing pressure for new developments in the Toukley region as people look to the next coastal region north of The Entrance for lifestyle and development opportunities. It is therefore timely that the planning controls be reviewed and updated to cater for an expected growth in demand.

The 2006 Census recorded a resident population of approximately 8,700 people in Toukley. This represented a decrease of 1.9 percent from the previous Census in 2001.

Table 6: 2006 Census – Resident Population

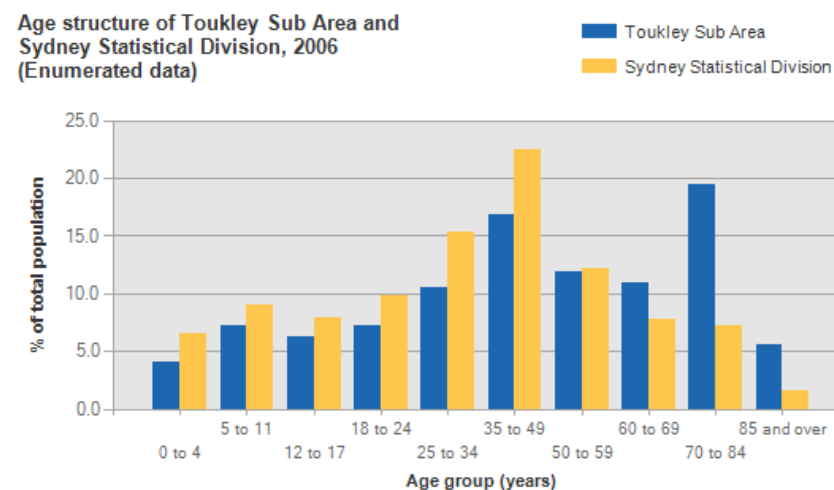
Census	Population
2001	8,873 persons
2006	8,706 persons
Growth	-167 persons (-1.9%)

Over 33 percent of the Toukley population is aged over 60 years, compared to an average of 23 percent across the Wyong local government area. Figure 6 shows the age structure for the suburb of Toukley in relation to the Sydney Statistical Division. Overall, 17.5% of the population was aged between 0 and 17, and 36.0% were aged 60 years and over, compared with 23.6% and 16.7% respectively for the Sydney Statistical Division.

The major differences between the age structure of Toukley Sub Area and the Sydney Statistical Division were:

- A *larger* percentage of 70 to 84 year olds (19.5% compared to 7.3%)
- A *larger* percentage of persons aged 85 and over (5.5% compared to 1.6%)
- A *smaller* percentage of 35 to 49 year olds (16.8% compared to 22.5%)
- A *smaller* percentage of 25 to 34 year olds (10.6% compared to 15.3%)

While the suburb (sub area) of Toukley exhibits a slightly higher extreme compared to the Toukley Peninsula as a whole, it illustrates the role the area has served in accommodating retirees and the implications this has for the Strategy.



Source: Australian Bureau of Statistics, 2006 Census of Population and Housing (Enumerated)

Figure 6: Age Structure

The average household income for the Toukley Social Planning District is \$678.25, compared to the NSW State average of \$1,036 and Wyong LGA average of \$770.

Given that over 45 percent of the Toukley population is living on superannuation, pensions, self-funded retirement funds or benefits such as the New Start Allowance, this is highly significant to the Strategy, particularly in terms of the need to:

- Provide adequate housing choice
- Protect low income housing within the locality
- Adequately provide for adaptable housing that is suited to the ageing population

Population and Dwelling Growth Targets

A key challenge for the Strategy is to facilitate population, dwelling and employment targets identified in the CCRS.

Toukley falls within the CCRS “centres” category which has a growth target of an additional 14,500 dwellings, to be distributed throughout these existing “centres” over the life of the CCRS (which is described 2006-2031 or 25 years). The Entrance Peninsula Planning Strategy (TEPPS), recently adopted by Council, proposes a dwelling capacity target of approximately 8,000 additional dwellings over this period. This leaves around 6,500 dwellings to be accommodated within the remaining “centres” including Toukley. Although it should be noted that, aside from The Entrance and Toukley Peninsulas, there is little obvious capacity to accommodate this dwelling growth.

The Toukley Peninsula population at the 2006 Census was approximately 8,700. The current zone capacity would permit a population of approximately 15,500 persons, however there are inherent problems with the location and distribution of the potential growth based on the existing zone regime.

Dwelling and population growth will not only assist in meeting CCRS targets, but will also underpin existing commercial centres especially the Town Centre, and will assist in stabilising the local economy and providing a benchmark for jobs growth.

This Strategy proposes to facilitate a population capacity of approximately 16,800 persons, or approximately 8,000 dwellings over 25 years. This represents growth of an additional 8,100 persons or 3,850 dwellings.

When considered alongside the growth capacity facilitated under the TEPPS for The Entrance Peninsula, the combined areas will potentially accommodate up to 12,000 of the total 14,500 dwellings identified under the CCRS “centres” growth target.

Implications for the Strategy:

- Locate population close to existing centres, facilities, transport and areas of high amenity
- Need to preserve the existing positive character elements while providing with new housing types and choice
- Observe sustainability principles

Range and Design Quality of Dwelling Stock

The locality lacks reasonable stocks of alternative dwelling types and, until 2003/2004, the existing 2(b) Multiple Dwelling Residential and 2(c) Medium Density Residential zones had seen low take up rates and under-utilisation.

Between 2003 and 2009, of the 93 development approvals issued for dual occupancies or residential flat buildings just under half (43) were issued in the years 2003 and 2004. This indicates how development activity in the local housing market has tapered off and flat-lined since late 2004 or early 2005.

Given the aging population structure, provision of a range of dwelling types, including adaptable housing is an important planning consideration.

Implications for the Strategy:

- Identify areas best suited to medium density development close to the Town Centre (Peel Street, Moss Avenue) and other local/neighbourhood centres (Canton Beach, East Toukley, Norah Head) and areas with high amenity/lake views.
- Review/introduce site amalgamation controls to encourage developments that are site responsive while providing improved streetscape relationship and generally improved built form outcomes.
- Introduce adaptable housing provisions into residential development.
- Introduce controls that will encourage design quality and landscape quality improvements.



Photo 22: Medium density housing, NSW Coast

Urban Design and Amenity

The 1996 Urban Design Plan included a number of recommendations that are still relevant to Toukley, such as establishing visual and physical links between the Town Centre and Canton Beach. The Strategy should build on the previous work and ensure that development in the public and private domain results in best practice built outcomes.

Implications for the Strategy:

- Review the 1996 Urban Design Plan to ensure relevant recommendations are incorporated.
- Ensure opportunities to improve amenity and design quality of the public and private domain are included in the Strategy.

Protecting Low Cost Housing and Caravan Parks

A relatively high proportion of Toukley's population is unemployed or living on income support. Many live in the caravan parks in the locality, particularly at Canton Beach.

Since completion of the 2003 Toukley Planning Study, development consent has been granted to redevelop one of the two privately owned caravan parks at Canton Beach as a mixed use residential commercial development. This consent, although issued, was not activated and has since lapsed.

Consultation with community housing providers in relation to the need/demand for affordable housing in Toukley and, in particular, the current role played by the existing residential/caravan parks has revealed the following:

- There continues to be a very high demand for affordable housing in the area. This is more pronounced given the current economic climate and community housing provider, Coastal Community Tenancy Scheme (CCTS), has waiting lists.
- Both the Waterfront Tourist Park and Lakeside Tourist Park cater for tourists and permanent residents. No emergency accommodation is provided.
- The Caravan Park on Main Road/Tamar Avenue has a consistent turnover of people and the Department of Housing use this park for emergency accommodation. Evidence indicates that the park is in very poor condition with inadequate maintenance or upkeep. Vans are in poor condition with no concrete pad, no annex, leaking water, mould issues etc. There reportedly are social problems, such as drug deals and other anti-social behaviour, occurring within the park.
- Due to the state of this park it is recommended that this caravan park be encouraged to close, and the area up-zoned.

- Advice from community housing providers indicates that over time, residents could be re-located/re-accommodated through different options and partnerships. For example, under the State and Federal Government housing agreements Community Housing Providers (such as CCTS) are now required to accommodate a higher proportion of homeless and Aboriginal tenants.

Loss of low cost housing is a significant issue for Council on a wider scale, particularly in the context of redevelopment in other parts of Wyong. Council is embarking on an Affordable Housing Strategy and outcomes of that project should be incorporated into the Toukley Strategy as far as possible.

Implications for the Strategy:

- Protection of low income housing should be a major consideration of the Strategy.
- Investigate opportunities to provide additional low income housing by implementing Council's affordable housing strategy, Promoting Housing Choice: A Local Housing Strategy for Wyong.

Rationalisation of Zones and Development Control Plans

Toukley lacks a legible and logical urban structure. The location of medium and high density zones does not reflect contemporary planning approaches. For example, some of the higher density residential zones are located away from the Town Centre while land immediately to the south of the Town Centre remains low density.

Issues for the Strategy:

- Seek to create a logical urban structure for Toukley with the Town Centre as the commercial focus supported by multi-unit residential zones and Precincts that take advantage of special features or character
- Avoid isolated and site specific land uses

3.1.2 Economy and Employment

Revitalisation of Town Centre

Although the Toukley Town Centre is often busy, it lacks a strong identity and has a limited range of retailing and services. Toukley has lost trade to the Lake Haven shopping centre and other competing centres and needs a clear role and identity.

There are opportunities to introduce residential accommodation into the Town Centre, preferably above ground floor active retail uses. However, it is important for the built form not to take away from the amenity and character that underpins the centre's attractiveness. This includes protecting sun access to footpaths and the Village Green area.

Implications for the Strategy:

- Need to capture more local and tourist spending
- Opportunities to encourage mixed use residential and commercial/retail developments within the Town Centre as a means to increase activity (especially in terms of improved safety after hours and weekends) and help revitalise the Town Centre
- Opportunities to increase the residential population in areas adjoining the Town Centre as a means to increase the support base of the Centre

- Important to ensure that future development does not compromise amenity of the pedestrian spaces within the Town Centre



Photo 23: Village Green, Toukley Town Centre

Ribbon Development on Main Road

Main Road has a lot of land uses that do not match the current zoning. The non-conforming commercial uses reduce the definition and focus of the Town Centre and exacerbate traffic management issues.

Implications for the Strategy:

- Improve definition of Town Centre boundaries, possibly utilising the former service station site and adjoining lands at Main Road/Yaralla Street as a western anchor
- Review controls along Main Road with a view to encouraging new development that will reduce the number of non-conforming uses

Tourism Potential

The tourism potential of the peninsula is not well serviced or supported. The peninsula has a wide range of tourism attractions although these are not well linked or integrated. These include water based sports such as fishing and sailing; boating and canoeing; swimming and snorkelling; surfing, body boarding and 'the beaches'. There are many land based tourist pursuits including whale watching, coastal and bush walks, golf, cycling tracks and picnicking in oceanside or lakeside parks.



Photo 24: Canton Beach foreshore

Greater Toukley Vision (GTV) is playing an important role in collating and developing promotion of the areas attractions and events. There are a number of important events that the Toukley district hosts that assist in promoting the area including:

- Gathering of the Clans
- Whaledreamers Festival
- Easy Street Hot Rods – Show and Shine
- Soldiers Beach Body Boarding Pro
- Food and Fun in the Village Green
- Carols at the Lighting of the Christmas Tree

Given the range of tourist opportunities and events, an opportunity exists for Toukley Peninsula to develop a unique identity from which to market and differentiate itself from other tourist destinations on the coast.

There is reasonable potential for increased tourist accommodation at Canton Beach and Norah Head, and some potential for additional facilities at West Toukley.

Implications for the Strategy:

- Potential to establish Canton Beach as a lakeside tourism precinct offering accommodation and supporting services/facilities
- Potential to consolidate the tourist facilities and opportunities in the Beachcomber Precinct
- Potential for limited low intensity tourist accommodation at Norah Head and Noraville/Hargraves Beach
- Explore ways to better integrate and link areas of tourist interest and potential
- Explore mechanisms to further develop a tourist identity as a platform to promote the Toukley Peninsula

- Explore long term potential for low intensity tourist uses and accommodation along Peel Street foreshore
- Potential for eco-tourism in the natural areas of the peninsula may have

Home Based Employment

The Peninsula does not have optimal public transport links to key regional employment hubs. Although with the release and development of the Wyong Employment Zone and Warnervale Town Centre employment opportunities will improve, the opportunity for home based employment opportunities needs consideration. The key challenges will involve avoiding land use conflict between employment uses and residential amenity in the context of an increasingly diverse range of housing forms.

3.1.3 Environment, Heritage, Recreation and Natural Resources

Sustainability

Sustainability is an essential component of development. The following six main principles underpin future sustainability:

- Social cohesion which recognises everyone's needs
- Effective protection, conservation and management of the natural environment, biodiversity and cultural heritage
- Effective energy management
- Effective management of hazards, including those associated with sea level rise, ocean processes, flooding, ASS and groundwater resources

- Prudent use of the Toukley Peninsula's attributes and resources
- Achievement and maintenance of stable levels of economic growth and employment

Biodiversity and Environment

Whilst extensive areas of the Strategy area have been urbanised, there are still significant natural areas which provide significant biodiversity and conservation values. The main areas of importance are as follows:

SEPP No. 14 – Coastal Wetlands

SEPP No. 14 aims to ensure coastal wetlands are preserved and protected for environmental and economic reasons. The policy applies to local government areas outside the Sydney metropolitan area that front the Pacific Ocean.

Two significant SEPP No. 14 - Coastal Wetlands exist in the Strategy area. One occurs in the north-east of the Toukley residential area, south of the Toukley Golf Course. The other one extends along the Lake foreshore from Canton Beach to Magenta. The 7(g) Wetlands Management Zone boundary coincides for the most part with these areas.



Photo 25: Toukley Wetland

Migratory Wader Bird Habitat

The Toukley Strategy area, particularly the lakes and foreshore areas, are known to contain habitat or likely breeding areas for a number of migratory birds. The Japan-Australia Migratory Bird Agreement (JAMBA) and China-Australia Migratory Bird Agreement (CAMBA) agreements apply to a large number of these species.

The Budgewoi Sandmass occurs on the northern part of the Strategy area and is one of the most significant areas of migratory bird and estuarine habitats in the Tuggerah Lakes system. The sandmass is a valuable and unique ecological area within the estuary because it provides a range of relatively pristine habitats, which includes large open sand-flat, non-tidal areas for feeding and roosting for many migratory and local waterbirds, extensive wetlands, saltmarshes and seagrass meadows. It also provides significant habitat for invertebrates and fish within the estuary and the saltmarsh, wetlands and trees adjacent to the sandmass provide key roosting sites for many migratory and wading birds.

Natural Vegetation at Norah Head and Canton Beach

The southern edge of Toukley is bounded by Wyrabalong National Park. Wyrabalong National Park has an area of 620 hectares and has two distinct sections, one coastal and the other fronting Tuggerah Lake. The northern part of the national park can be accessed from Wilfred Barrett Drive and protects areas of Red Gum Forest and Coastal Rainforest.

Significant areas of vegetation also exist on Crown land and land owned by the Darkinjung Local Aboriginal Land Council in the Norah Head area. Much of this area was originally identified on Council's Urban Development Program. However, these plans were abandoned due to community concerns about the environmental value of these areas. Substantial areas of the Norah Head area are identified as the site of an Endangered Ecological Community (EEC) - under the Threatened Species Act, 1995. The site is listed as low woodland with heathland on indurated (hardsetting) sand at Norah Head.

Threatened Species

Twenty-eight different threatened species under the Threatened Species Conservation Act, 1995 have been observed, or are likely to occur, in the Strategy area. These include:

Flora Species

- 1 *Caladenia tessellata* (Thick-lipped Spider-orchid) – Endangered
- 2 *Caladenia porphyrea* syn *Petalochilus porphyreus* – Endangered
- 3 *Cryptostylis hunteriana* (Leafless Tongue-orchid) – Vulnerable
- 4 *Diuris praecox* (Rough Double Tail Orchid) – Vulnerable
- 5 *Eucalyptus camfieldii* (Camfield's Stringybark) – Vulnerable
- 6 *Syzygium paniculatum* (Magenta Lilly Pilly, Magenta Cherry) – Vulnerable
- 7 *Tetratheca juncea* - Vulnerable

Fauna Species

Birds

- 1 *Diomedea exulans antipodensis* (Antipodean Albatross) – Vulnerable
- 2 *Diomedea exulans gibsoni* (Gibson's Albatross) – Vulnerable
- 3 *Macronectes halli* (Northern Giant-Petrel) – Vulnerable

- 4 *Pterodroma neglecta neglecta* (Kermadec Petrel (western)) – Vulnerable
- 5 *Rostratula australis* (Australian Painted Snipe) – Vulnerable
- 6 *Thalassarche bulleri* (Buller's Albatross) – Vulnerable
- 7 *Thalassarche cauta cauta* (Shy Albatross, Tasmanian Shy Albatross) – Vulnerable
- 8 *Thalassarche cauta salvini* (Salvin's Albatross) – Vulnerable
- 9 *Thalassarche cauta steadi* (White-capped Albatross) – Vulnerable
- 10 *Thalassarche melanophris impavida* (Campbell Albatross) – Vulnerable

Frogs

- 11 *Heleioporus australiacus* (Giant Burrowing Frog) – Vulnerable
- 12 *Littoria aurea* (Green and Golden Bell Frog) – Vulnerable
- 13 *Littoria littlejohni* (Littlejohn's Tree Frog, Heath Frog) – Vulnerable

Mammals

- 14 *Chalinolobus dwyeri* (Large-eared Pied Bat, Large Pied Bat) – Vulnerable
- 15 *Petrogale penicillata* (Brush-tailed Rock-wallaby) – Vulnerable
- 16 *Potorous tridactylus tridactylus* (Long-nosed Potoroo) – Vulnerable
- 17 *Pteropus poliocephalus* (Grey-headed Flying-fox) – Vulnerable

Reptiles

- 18 *Chelonia mydas* (Green Turtle) – Vulnerable

Endangered Fauna Species

Birds

- 1 *Anthochaera phrygia* (Regent Honeyeater) – Endangered
- 2 *Lathamus discolor* (Swift Parrot) – Endangered
- 3 *Macronectes giganteus* (Southern Giant-Petrel) – Endangered

Mammals

- 4 *Dasyurus maculatus maculatus* (Spotted-tail Quoll, Tiger Quoll) – Endangered

Reptiles

- 5 *Dermochelys coriacea* (Leathery Turtle, Leatherback Turtle) – Endangered

Threatened Ecological Communities

Large areas of vegetation are classified as Endangered Ecological Communities (EECs) under the Threatened Species Conservation Act, 1995. These include:

- 1 One (1) critical EEC, the Coastal Sand Littoral Rainforest, exists in Precinct 11 – Canton Beach (0.67ha) and Precinct 13 – Norah Head (4.20ha). This community is listed as the critically endangered ecological community Littoral Rainforest and Coastal Vine Thickets of Eastern Australia under the Environment Protection and Biodiversity Conservation Act, 1999.

- 2 Five (5) EECs listed in Schedule 1 (Part 3) of the Threatened Species Conservation Act, 1995 occur within the Strategy area:
- a Swamp Sclerophyll Forest on Coastal Floodplains – approximately 391 hectares in area ranging from Canton Beach (63.11ha), Noraville (167.15ha) and Norah Head (19.45ha) in the south to Toukley (141.59ha) in the north including disturbed Swamp Sclerophyll Forest
 - b Swamp Oak Floodplain Forest – 12.66 hectares at the northern tip of Toukley Peninsula adjacent to the Golf Course
 - c Low Woodland Forest – 71.52 hectares exist to the west of the Norah Head residential area (68.14ha to the east, and 3.38ha to the west, of Wilfred Barrett Drive in Noraville)
 - d Sydney Freshwater Wetlands – 8.11 hectares exist in the Canton Beach area, 0.83 hectares in Noraville and 13.08 hectares in Norah Head
 - e Freshwater Wetlands - 20.56 hectares exist to the south of the Norah Head area

Figure 7 illustrates the distribution and size of endangered EECs within the Strategy area.

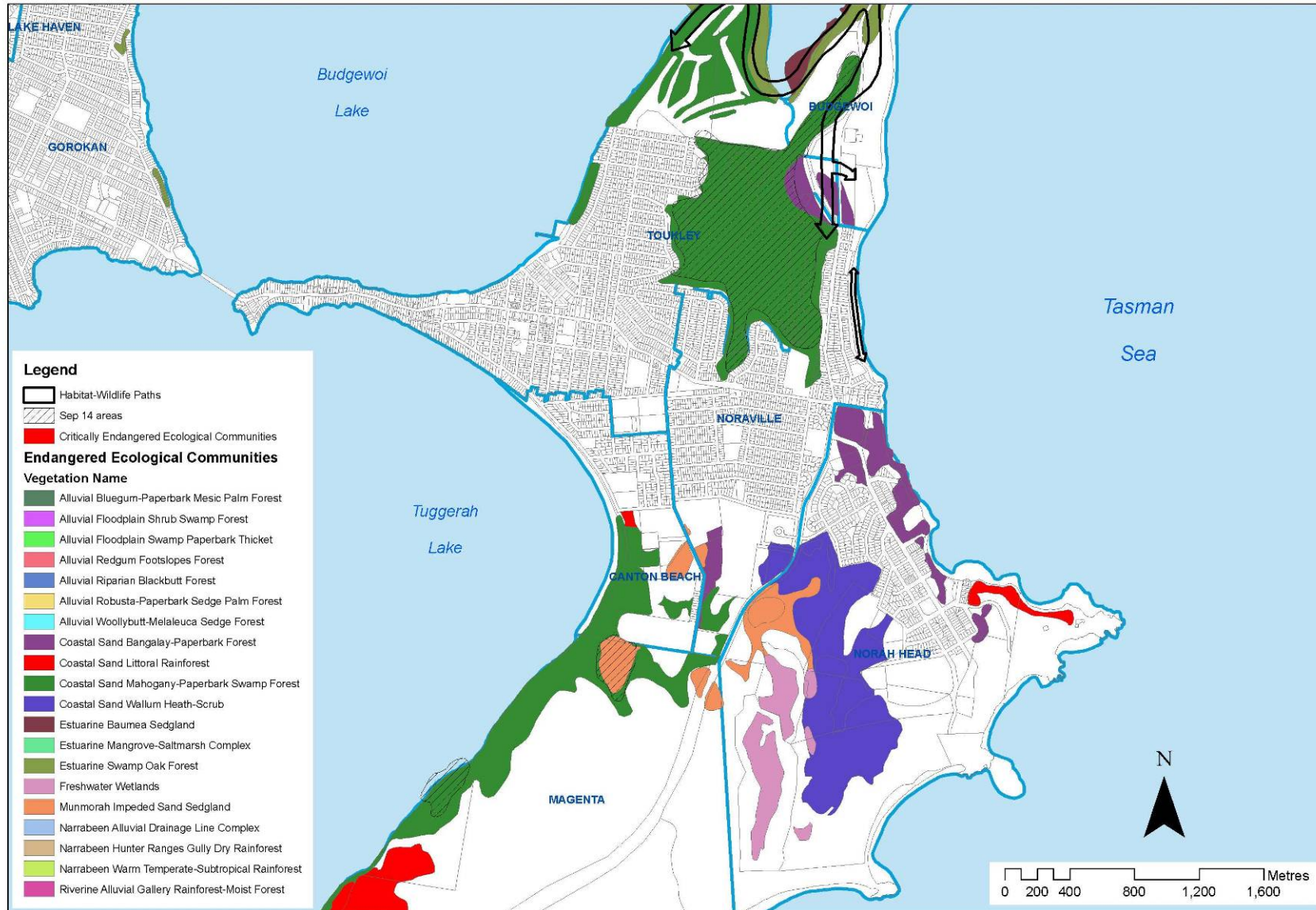


Figure 7: Endangered Ecological Communities within the Toukley Strategy

Wildlife Corridors

Remnant areas of swamp forest around the lakes often contain winter flowering Eucalypts which are known to be used by Swift Parrot and Regent Honeyeaters as a food resource along their migration routes along the NSW Coast. Areas of known habitat shall be protected and additional plantings of winter flowering Eucalypts encouraged in the Strategy area.

The Wyong Shire Wildlife Corridor Study identifies 55 important wildlife linkages which require protection. Two of these occur in the Strategy area which is shown in Figure 1. These are as follows:

- Toukley Corridor – Linkage around perimeter of golf course along the edge to provide a link to Budgewoi foreshore vegetation
- Noraville Corridor – Small linkage requiring replanting at Hargraves Beach to provide link to swamp forest vegetation along Budgewoi Lake

Protecting the Existing Tree Canopy

Toukley's character is strongly defined by its vegetation and existing mature trees that combine to form an impressive canopy when viewed from a distance, and as a backdrop from within the peninsula. Mature tree stands at the centre of the residential blocks in the area south of the Town Centre, at Canton Beach, and in other places are particularly important to the area's "green" character. Similarly, trees are crucial to help screen developments along the lakeside foreshores.

Implications for the Strategy:

- Preparation of an Ecological Management Plan for protection of the Peninsula's ecological attributes is recommended as part of the Strategy implementation
- As a general rule, the Strategy should aim to keep the scale of development close to the tree line
- Building siting and coverage controls will require careful consideration to allow protection of mid-block tree stands
- Potential for a cultural or significant tree survey to be undertaken to establish whether, and where, trees of cultural significance are located and recommendations for protection and management



Photo 26: View of significant foreshore vegetation along Lake Budgewoi foreshore, Toukley

Heritage Items

Three Heritage items are identified by Wyong LEP 1991 in the area:

- Norah Head Lighthouse, Bush Street, Norah Head (Regional significance)
- Hargraves House, 3-7 Elizabeth Drive, Noraville (State significance)
- Noraville Cemetery and Hargraves' Grave, corner Wilfred Barrett Drive and Oleander Street, Noraville (Regional significance)

It is recommended that the heritage controls in relation to these heritage items be retained.

Any DCPs should seek to identify the individual characteristics of the "holiday cottages" and "fishing shacks" which give Toukley and Noraville their unique architecture.

Aboriginal Cultural Heritage

Toukley Peninsula's proximity to the Lakes and the Pacific Ocean are identified as having high potential for Aboriginal heritage. There are a number of sites on the Aboriginal Heritage Information Management System (AIHMS) Register, administered by DECCW, which are protected under the National Parks and Wildlife Act, 1974. These sites are generally located away from areas in which growth is anticipated to be accommodated under this Strategy, however, recommendations for new recreation opportunities have the potential to impact the areas Aboriginal heritage. It will therefore be important that the protection of Aboriginal heritage be an integral consideration in developing the Strategy.

Furthermore, Council's planning controls will require review to ensure adequate protection of Aboriginal sites, relics and other items.

Water Quality and Water Sensitive Urban Design

Development in the Toukley area has the potential to impact on the water quality of Tuggerah, Budgewoi Lakes and the Ocean. Toukley and particularly Canton Beach have significant foreshores to Tuggerah and Budgewoi Lakes. The lakes form a complex tidal and freshwater estuary system that has become degraded due to the impacts of urbanisation. The major issues are the increased amounts of sediments, nutrients and other pollutants entering the waterways and lake system.

One of the key elements of WSUD is protection of receiving waters and aquatic ecosystems. This is achieved by treating stormwater runoff from urban areas and minimising changes in the natural water cycle, in particular maintaining the natural wetting and drying hydrology of wetlands. Toukley, Noraville and Norah Heads contain ecologically endangered and sensitive aquatic environments which require protection. Toukley wetland in the north of the Strategy area is protected by SEPP No. 14 and thus any development in areas draining to this wetland must be managed appropriately with the implementation of WSUD.

Council's WSUD principles will need to be included in future controls on development in the locality in a manner consistent with other parts of Wyong. The key objectives of WSUD Policy are:

- Potable Water Conservation – Objectives aim to minimise potable water demand and wastewater volumes
- Stormwater Quality – Objectives aim to protect receiving water quality by limiting the quantity of key pollutants discharged in stormwater from urban development
- Wetland Hydrology – Objectives aim to protect Wyong's key wetland and lake ecosystems from the significant effects of increased runoff frequency, flow, volume and duration. This approach ensures that the hydrologic patterns in wetland and lake ecosystems in developed catchments are similar to predevelopment conditions
- Waterway Stability – Objectives aim to prevent exacerbated erosion downstream of urban areas, by managing the manner of flow delivery as well as peak flows and volumes



Photo 27: Constructed wetland

Recreation and Open Space

Toukley Peninsula is relatively well served by open space and recreation land and facilities. The table opposite provides a breakdown of the open space type and the amount currently provided on the Peninsula. The table also shows the future open space demand based on id. Consulting's population projections and the population capacity achievable under the proposed Strategy.

The existing area is actually minimised as not all Crown Land or National Park is included.

The apparent deficiencies are more in terms of location relative to population and connections especially in regard to movement corridors. The eastern residential area is limited in terms of access to parks and the northern in terms of access to playgrounds (see Figure 8). However the northern area is adjacent to very large areas of open space albeit they are foreshore, wetland and bushland.

However, at full population capacity, under the Strategy there will be a deficiency in relation to the provision of fields, courts and small parks. The nature of demand, and how best to address it, calls for the preparation of an Open Space Structure Plan. This will provide a context for planning for future Open Space Development and potential funding either via Section 94 or grant applications and, additionally, to combine and update the work completed for the Local Parks Strategy and Action Plan and the Recreation and Sports Facilities Strategy. Characteristics of such a plan include:

- Identify the existing asset and its development
- The range of uses it may serve and the service levels it provides
- Re-assesses demand expressed and predicted
- Demand is synthesised to supply and a plan prepared to show the structure of Open Space in terms of location, development and service level

At present the Local Parks Strategy recommends a minimum size of 5,000 square metres for a local park, but in medium and high density development areas there will be a good argument to provide smaller and more intensively developed spaces to serve the residents of the development. This matter should be examined in closer detail through an Open Space Structure Plan and Strategy for the Toukley Peninsula.

For example, pocket parks have the potential to provide immediate open space close to areas of increased residential density. In order to work they need excellent passive surveillance, function for purpose and amenity of use. They can be very important for social interaction and engagement if they are perceived as safe, are comfortable to be in and support the range of uses the residents need. However, if they are not safe, comfortable or functional they can quickly become building curtilage only and are places that people move through or avoid. This lack of use also encourages vandalism and misuse of the areas.

There are good opportunities to extend and complete an extensive shared pathway network.

There is a need for recreation settings that encourage incidental exercise for all ages and contribute to social engagement. In many cases the recreation asset of Toukley is older and in need of refurbishment or upgrade.

Council has made significant improvements in recent years to some areas, such as Darren Kennedy and Harry Moore Ovals, Canton Beach, all access playgrounds, and shared pathway extensions on Wilfred Barrett Drive.

Good opportunities exist to build upon the coastal walk network. Council's Open Space and Recreation section is presently investigating this potential, which has the added potential to serve as a tourism function.

Table 7: Population Projection

Year	Apportion %	Existing Provision	Projections			Toukley Planning Strategy	Minimum Number of Sites	Minimum Size
			2009 id Consulting	2020	2031			
Population Projection			9,225	10,032	12,644	16,800		
Open Space Type								
Field	35	10.32	9.69	10.53	13.28	17.64	4	4
Court	10	2.11	2.77	3.01	3.79	5.04	5	1
Small Park	25	8.2467	5.54	6.02	7.59	12.6	25	0.5
Large Park	10	13.638	2.77	3.01	3.79	5.04	2	2
Semi Natural	20	23.147	6.92	7.52	9.48	10.08	5	2
Totals	100	47.1417	27.68	30.10	37.93	50.4		

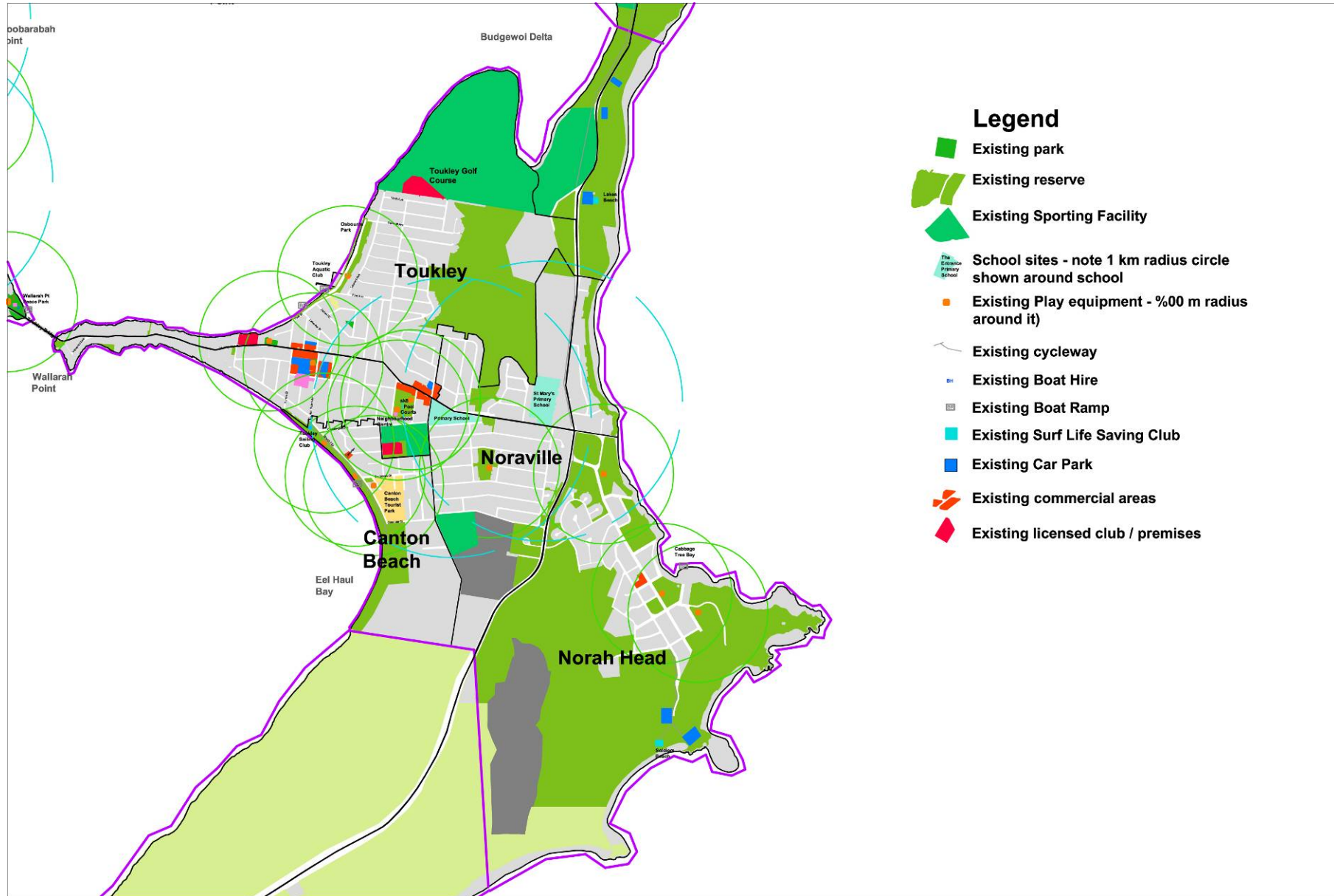


Figure 8: Open Space

3.1.4 Natural Hazards

Toukley Peninsula's coastal location makes it susceptible to climate change impacts, including sea and lake level rise, increased flooding and storm activity and coastal erosion. It is important that climate change issues, particularly in regard to the foreshore areas of Toukley, Canton Beach and the coastal areas of Norah Head and the Hargraves Beach area of Noraville are addressed appropriately. The areas that are most likely to be impacted are highlighted and a commitment is given to incorporate planning solutions that address the latest climate change information. In line with Council and State Government policies, this Strategy recommends adopting a risk-based approach to land use planning including a 100 year planning period.

Coastal Hazards and Protection

The coastline of the Strategy area adjacent to Norah Head and north to Hargraves Beach is subject to coastal hazards. Land north of the Hargraves House headland is recognised as a Coastal Hazard zone and is subject to the provisions of DCP Chapter 77 - Coastal Hazards.

Land immediately to the west of the Hazard Zone is subject to special design criteria contained in DCP Chapter 77. The cliff bluffs at Norah Head are also considered Risk Zones and are subject to special development controls in DCP Chapter 77.

A Coastline Management Study is being undertaken and will lead to a Coastline Management Plan. Subject to the findings of that Plan, revisions to DCP 2005 Chapter 77 may be warranted together with appropriate development controls to minimise future risk.

Flooding

The majority of the Strategy area does not have any flooding affectation. There is minor flooding of properties along the Tuggerah and Budgewoi Lakes frontages, affecting those fronting or gaining access from Main Road between west of Yaralla Street. The current flooding level is set at RL 2.2 metres for a 1:100 years ARI (Tuggerah Lakes Flood Study, Lawson and Treloar). Most of the areas below this height are currently subject to a Foreshore Building Line. Current international climate change science projects a rise in sea level of 40cms and 91cm by 2050 and 2100, respectively, based on 1990 levels. This may prompt a need to review the Foreshore Building Line. The Tuggerah Lakes Floodplain Risk Management Study and Plan is scheduled to be completed in mid-2010. This will build upon the 1994 Study and will address sea level rise and the potential for increased flooding levels accordingly. This study will provide relevant direction for development in Toukley particularly in relation to:

- Minimum floor levels
- Pedestrian stairway access design, and
- Entry to basement carparks



Photo 28: Flooding, Picnic Point foreshore, Tuggerah Lake (June 2007)

The impacts of projected sea and lake level rise combined with flooding levels will have a bearing on recommended land use changes in certain localities.

Accordingly, a number of localities are identified as being impacted by projected lake flooding. While potential new recommended land uses within these localities are identified, this is on a provisional basis. Any subsequent change in zoning for areas identified at risk will be deferred pending, firstly, the completion of the Tuggerah Lakes Floodplain Risk Management Plan (incorporating sea level rise projections). This will verify the identified 'coastal risk' areas and, secondly, a comprehensive risk-based assessment process. If the risk is determined to be manageable, new development will need to be located and designed with appropriate and relevant mitigating and adaptive measures, against the anticipated impacts of climate change for the asset period deemed appropriate for the particular development. If it is demonstrated, through the risk assessment process, that the proposed land use is not sustainable for its defined asset period then, based on the precautionary principle, it should not be rezoned and an alternative land use will need to be considered.

Bushfire Risk

The Bushfire Prone Lands map adopted in May 2006 indicates Hazard Categories 1, 2 and 3. Buffer zones identify the potential zone of bushfire risk from the bushfire prone lands identified. This would result in an extension of the bushfire hazard maps to accommodate 100 metres from medium and high hazard areas (Categories 1 and 2) and 30 metres from low hazard areas (Category 3 Hazard). The bushfire prone land must be noted on Section 149 certificates issued for all of the affected properties.

For the purposes of this study, the urban areas adjacent to lands identified as Hazard Category 1 and 2 are considered to be extended by the 100 metre buffer zone for the purposes of assessing future land uses.

The mapping provided indicates bushfire risks are present for properties fringing bush and open space at Toukley north, at the northern extension of Noraville (on the western side of Budgewoi Road), and at Norah Head and Noraville (at the interface with the National Park). The Strategy does not propose to increase residential densities within these areas, however it is recognised that existing properties are at risk. It is recommended that Council's Open Space and Recreation Section be advised of this asset protection issue. Appropriate budget should be allocated to construct fire trails and APZs in known locations where there is a risk to property and life.

It is recommended that, prior to finalising any draft LEP as a result of this Strategy, the Bushfire Prone Lands map certified by the NSW Rural Fire Service be reviewed.

Acid Sulphate Soils (ASS)

ASS have the potential to create significant impacts, such as contamination of subsurface and marine waters, should they be exposed to the air. ASS are a key issue requiring consideration in future planning decisions. The disturbance of ASS should be avoided wherever possible, or at least mitigated in areas where development is unavoidable.

Areas of ASS in the Strategy area include Canton Beach, the Toukley Golf Course area, and the extensive wetland area in East Toukley and the Hargraves Beach area of Noraville. Where a change of use is proposed, such as at Canton Beach, there may be a need to confirm the appropriateness of the change and land use given the presence of ASS or identify the types of measures that would be needed to be employed to properly manage local construction impacts where these soils are encountered.

3.1.5 Water and Infrastructure

Water and Sewer

The Toukley area is located within Development Services Plan No. 6 (DSP 6) for the provision of water and sewer services. In relation to water and sewer loading, the current DSP 6 allows for future loading within the Toukley District of 5,452 ET (population of 17,446). The population projection of approximately 16,800 remains within the DSP loading projections and, therefore, it can be concluded that the area will have capacity to service the additional population growth under the Strategy.

Toukley Sewerage Treatment Plant

The Sewerage Treatment Plant at Noraville places some constraints on the southern end of Noraville, primarily in terms of odour impacts. A study undertaken in the late 1990s by consultants, SKM, modelled odour concentration contours from the plant. This was based upon a scenario equivalent to current plant capacity and configuration. The 2OU odour contour, which has a recommended maximum population density of 2,000 persons, shows less than 10 properties (or <25 persons) are impacted based on the model.

The plant has sufficient capacity for planned population growth exceeding 17,000 persons, more than is anticipated under this Strategy. Council's Water and Waste Services Unit indicated that the odour emission will be virtually unchanged under an increased load to that shown on the modelled contours. When Council next conducts a review of the Sewerage Treatment Plan, it is recommended that the SKM odour study be updated.

The key implication for the strategy is that no further population growth, beyond existing zone capacity, should be planned within the area affected by the 2OU odour contour.

Health Facilities

The Toukley Peninsula is relatively well serviced by health facilities with a range including General Practice medical centres, dentists, orthodontist, pathology, chemists, radiology and x-ray, and naturopathy.

Community Facilities and Services

There are a range of community facilities currently available for the Toukley Peninsula. Key community facilities and services in the area include:

- Toukley and District Senior Citizen's Club, with approximately 1,200 members
- Toukley Primary School, including 'Turalo' which is their community centre and 'Kooloorra' which is the indigenous pre-school
- St Mary's Primary School
- Toukley Neighbourhood Centre
- Toukley Branch Library
- Karinya Care and Education Centre
- Greater Toukley Vision – for tourist promotion and local development
- Toukley and District Chamber of Commerce – for business development
- Toukley Art Society and Rotary, located in Peace Park, Gorokan

- Bungree Aboriginal Association is based in Toukley but is not only for Toukley, and is specifically a Home and Community Care (HACC) targeted service
- Emergency Women's Refuge
- Toukley Community Health Centre has a community health team, but is currently focused more upon building houses and accountability to Northern Sydney-Central Coast Area Health Service
- Residential aged care facilities

The residential aged care facilities include the following:

- Vietnam Veterans Keith Payne VC Hostel - 1 Evans Road, Toukley
- Toukley Aged Care Facility - 51 Peel Street, Toukley
- Norah Head Nursing Home - 63 Palomar Parade, Toukley
- Legacy Hostel - 60 Soldiers Point Drive, Norah Head
- Lakefront Village - Evans Road, Toukley
- Sandalwood Lodge - 2 Kantara Road, Toukley

Local residents regard the lake and access to beaches and National Park as the significant amenity of the area, and often the reason they moved to the Toukley District, ie. fishing, surfing, walking and cycling.



Photo 29: Toukley Neighbourhood Centre, Hedor Street

'Together for Toukley' is now regarded as a significant community based force for engaging the locals in making a difference in their local area. The active players working with Council are:

- Chamber of Commerce
- Greater Toukley Vision
- Police Crime Prevention Officer
- Department of Housing Community Regeneration Worker
- Ministry of Transport
- Toukley Seniors
- Toukley Primary
- Toukley Neighbourhood Centre

The Benevolent Society, Australia's oldest charity, began the 'Bridge to Beach' project in 2008. This is a long term project with a focus on three areas: community work, research and advocacy.

A significant gap in community services on the Toukley Peninsula is that there is no youth focused services based in, or outreaching to, Toukley.

3.1.6 Transport

Improvements to Through Traffic

Managing through traffic on Main Road is an ongoing issue of concern for Toukley.

Main Road has one travelling lane in both the eastbound and westbound directions. The existing flows are generated by through traffic and commercial, retail and residential developments from the adjoining and surrounding area.

Main Road experiences both morning and afternoon peak periods between the hours of 7:00am-9:00am and 4:00pm-6:00pm. Some congestion occurs during these peak times but generally Main Road experiences steady flows with limited queuing.

Bus zones are located on Main Road east of Yaralla Street on the southern side and west of Summerside Street on the northern side.

A left turn deceleration lane (20m long) is provided for westbound traffic at Yaralla Street. 30m right turn storage lanes are provided for eastbound traffic at the Yaralla Street and Victoria Ave intersections.

Council has undertaken a traffic study for the Toukley area in the context of the proposed development scenario.

Future traffic flows are influenced by an increase in background through traffic and traffic generated by future development in the Toukley area. The additional traffic will affect the operation of Main Road significantly. Without changes to the road system, particularly between Dunleigh Street and Holmes Avenue, it is anticipated that in the future there will be significant delays due to congestion with queues expected to extend well in excess of 1km. The congestion/queues can be reduced by having two approach and two departure lanes at the major intersections. This, however, will require the removal of parking between Yaralla Street and Victoria Ave during the peak hour times (noted above) and ultimately at all times. In terms of timing, it is anticipated that two travelling lanes will be required for both eastbound and westbound along Main Road by 2025.

The Traffic Study has identified a future need for traffic signals to be installed at the following intersections:

- Main Road, Peel Street and Yaralla Street
- Main Road and Fravent Street

The former will necessitate road widening at the south-western corner of Yaralla Street and Main Road, which is identified in the Strategy.

The Central Coast Highway/Oleander Street intersection will require upgrading, possibly to a roundabout.

Implications for the Strategy:

- Ensure that traffic management is carried out progressively with new development
- Ensure that the requirements of the area's traffic management scheme are programmed and costed in the Section 94 Contribution Plan

Carparking

There are several public car parks in the Toukley Town Centre. On street parking, though limited, is also provided on the northern and southern sides of Main Road, generally between Peel Street and Victoria Avenue.

Between Peel Street and Elden Street, and also between Summerside Street and Lakeview Street, on the northern side of Main Road, and between Yaralla Street and Victoria Ave on the southern side of Main Road, the parking is time restricted. It is restricted to 1 hour from 8:30am-6:00pm, Monday-Friday and 8:30am-12:30pm, Saturday. There are no restrictions on Sundays.

Public car parks are provided in Tarrant Lane and Sonters Lane on the northern side of Main Road (85 vehicles) and also on the southern side of Main Road in Beachcomber Parade (45 vehicles). 108 parking spaces are also provided in the Hargraves Street carpark.

As a result of implementing the additional travelling lanes, 36 on street parking spaces on Main Road will be lost. Additional off street parking spaces will be required to replace those spaces lost. In order to replace those lost spaces it is recommended that Council acquire Lot 52 DP. 21204 for a future carpark. A carpark on this site could accommodate 24 spaces and be supplemented by an additional 45 spaces constructed on Council's current Beachcomber Parade site.

Parts of Norah Head, particularly the coastal reserves experience carparking shortages at various times. Investigations will be required to determine whether additional parking in these areas will be required as a result of the Strategy.



Photo 30: Bush Street Reserve, Norah Head

Implications for the Strategy:

- Ensure that parking is available (acquire and construct a carpark on Lot 52 DP 21204) prior to parking being removed from Main Road between Peel Street and Victoria Avenue
- Ensure that the cost of carparking is included in a Section 94 Contribution Plan
- Ensure that adequate allocation for appropriately located car and bike parking is provided

Public Transport, Pedestrian and Cycleways

Due to the socio-economic demographic, Toukley has large numbers of people that need to use buses. One of the major constraints to residential attractiveness in Toukley now is the length of time it takes to get to a railway station for visitors, shoppers, commuters and students. Direct buses going to Wyong take a minimum of one hour, but if the passengers have to change at Lake Haven it takes 90 minutes or longer. This limits its potential as an attractive residential destination for the market segment that would take up quality higher density residential.

The CCRS identifies a number of relevant actions in relation to public transport that are relevant to Toukley:

- “Ministry of Transport (now New South Wales Transport and Infrastructure or NSWTI), RTA and local Councils are to implement the Strategic Bus Corridors with improved bus priority on all corridors
- For centres that are subject to redevelopment strategies, councils are to identify, in consultation with the NSW Ministry of Transport, passenger interchanges that are centrally located, visible from public areas, integrated into overall centres and well connected to both pedestrian and bicycle paths
- Councils and DoP are to ensure that there is sufficiently zoned employment land near major transport nodes to meet targets set by the Regional Strategy, throughout the preparation of LEPs, and the North Wyong Shire Structure Plan
- Concentrate employment in areas that allow for efficient public transport servicing, such as centres and specialised key nodes
- Council and the NSW Government are to investigate opportunities for additional or improved forms of regional public transport, subject to future funding

- Councils and the NSW Government are to work together to align walking and cycling networks with public transport routes to improve accessibility to public transport. This will include completion of the NSW Coastal Cycleway Network”

A number of these actions are identified and advanced by this Strategy.

A ‘park and ride’ with an express bus not going via Lake Haven could be considered as part of investigations to improve regional public transport. In this regard, plans for an express bus from Toukley to Wyong, without going into Lake Haven, will be submitted to the NSWTI for its consideration, as part of the current revisions for bus servicing within the Shire.

However, a number of the actions are difficult to effectively implement due to the constraint of Main Road and Wallarah Road beyond in terms of efficient vehicle movement. A co-ordinated approach at state and local government level will be required to deliver real improvements to public transport travel times.

As mentioned earlier in the Strategy, Council is currently in the process of undertaking a Bicycle and Shared Pathways Strategy to improve bicycle and pedestrian connectivity in the Shire.

Toukley has enormous potential for bicycle use by all ages and is very serviceable for pedestrians and bikes due to the relatively flat gradients. Many people use bicycles in Toukley. Significant opportunities exist to improve connections between the key recreation and tourist attractions on the Peninsula.

Some issues exist however, such as the continued dispute over the right of bikes to use footpaths in the Town Centre and the danger involved in riding along the Main Road through the Commercial heart due to the traffic and parking arrangements.

There is a need for some clearly marked and signposted key approach routes to the commercial area (and by-passes of trouble spots). Bike parking is also needed in the commercial centres.



Photo 31: Bicycle racks

3.2 Constraints and Opportunities

The physical constraints and opportunities of the locality are identified on Figure 9. Significant opportunities arise from the lake and ocean frontages and the area's natural setting, with potential for visual and physical links and views/outlook from many parts of the locality.

Constraints arise from the exposure to prevailing winds, particularly along the southern shoreline, and from bushfire hazards for areas fringing the natural edges of the locality. The following list and map provide a summary of some of the key constraints and opportunities but is by no means exhaustive.

Constraints

- Impacts of climate change including potential sea and lake level rise, increased storm and flood intensity
- Exposure to southerly winds, especially along south facing shoreline
- Bushfires hazard along urban fringes
- ASS and high water table, particularly at Canton Beach and other areas close to lake frontages
- Need to retain existing vegetation in the locality including mid-block tree stands and mature stands along lake frontages
- Single lane road access at all entry location points to the area
- Odour from lakes at certain tides and times; and from Sewerage Treatment Plant
- Presence of EECs in some non-urban areas on the Peninsula including SEPP No. 14 Wetlands at north Toukley
- Coastal Hazards such as coastal erosion and cliff stability

Opportunities

- Rationalise the residential zones surrounding the Town Centre and other centres
- Potential to enhance access to foreshore on Lake Budgewoi and Tuggerah Lake
- Improve physical and visual connections between the Town Centre, Canton Beach and Peel Street Foreshores
- Improve pedestrian and bicycle pathways to connect the attractions in the locality
- Retain and enhance water views and glimpses
- Review traffic and transport requirements and improve directional signage and intersection treatment
- Facilitate tourism development including accommodation and activities in strategic areas
- Define a desired future identity for the Toukley region

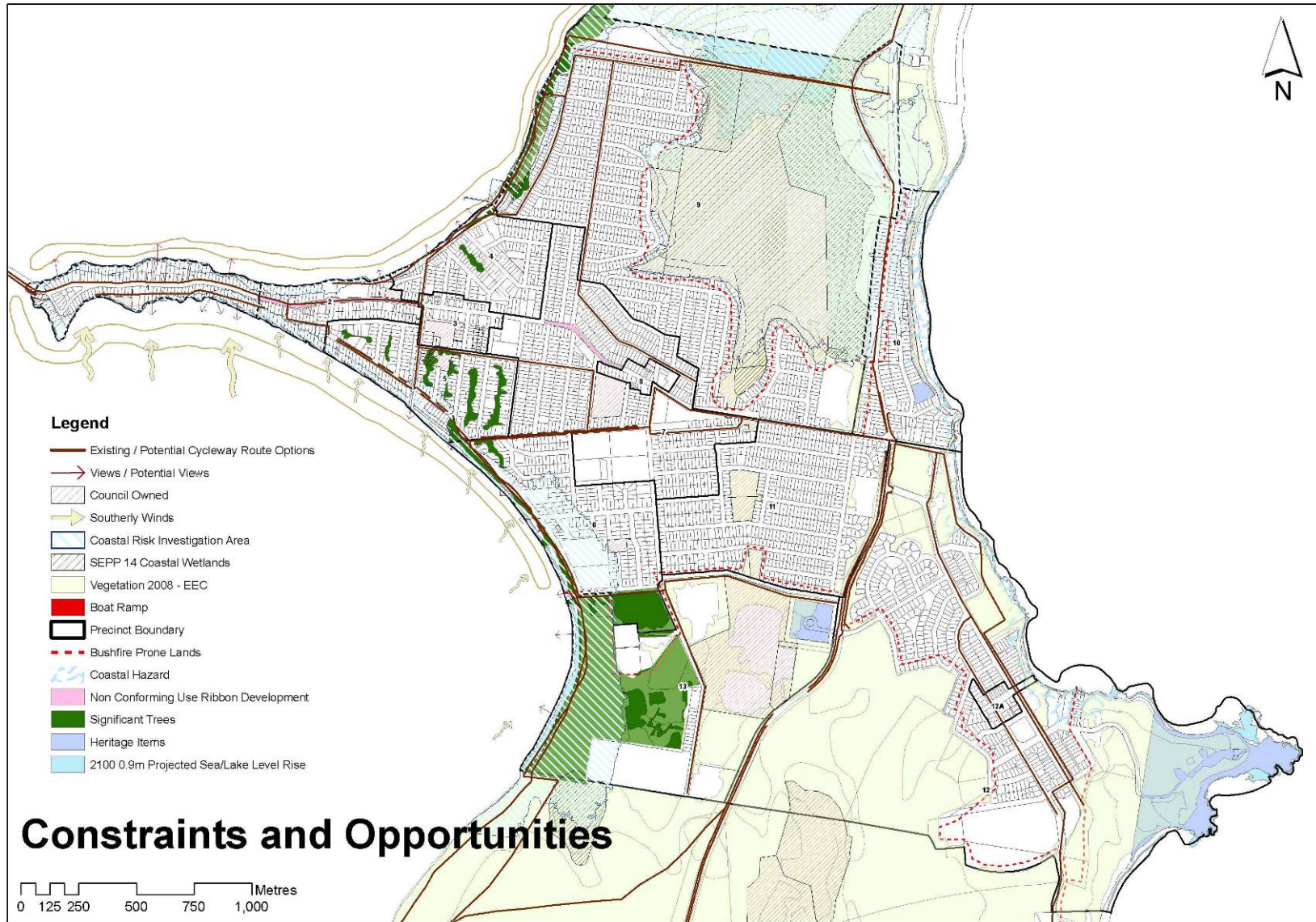


Figure 9: Constraints and Opportunities

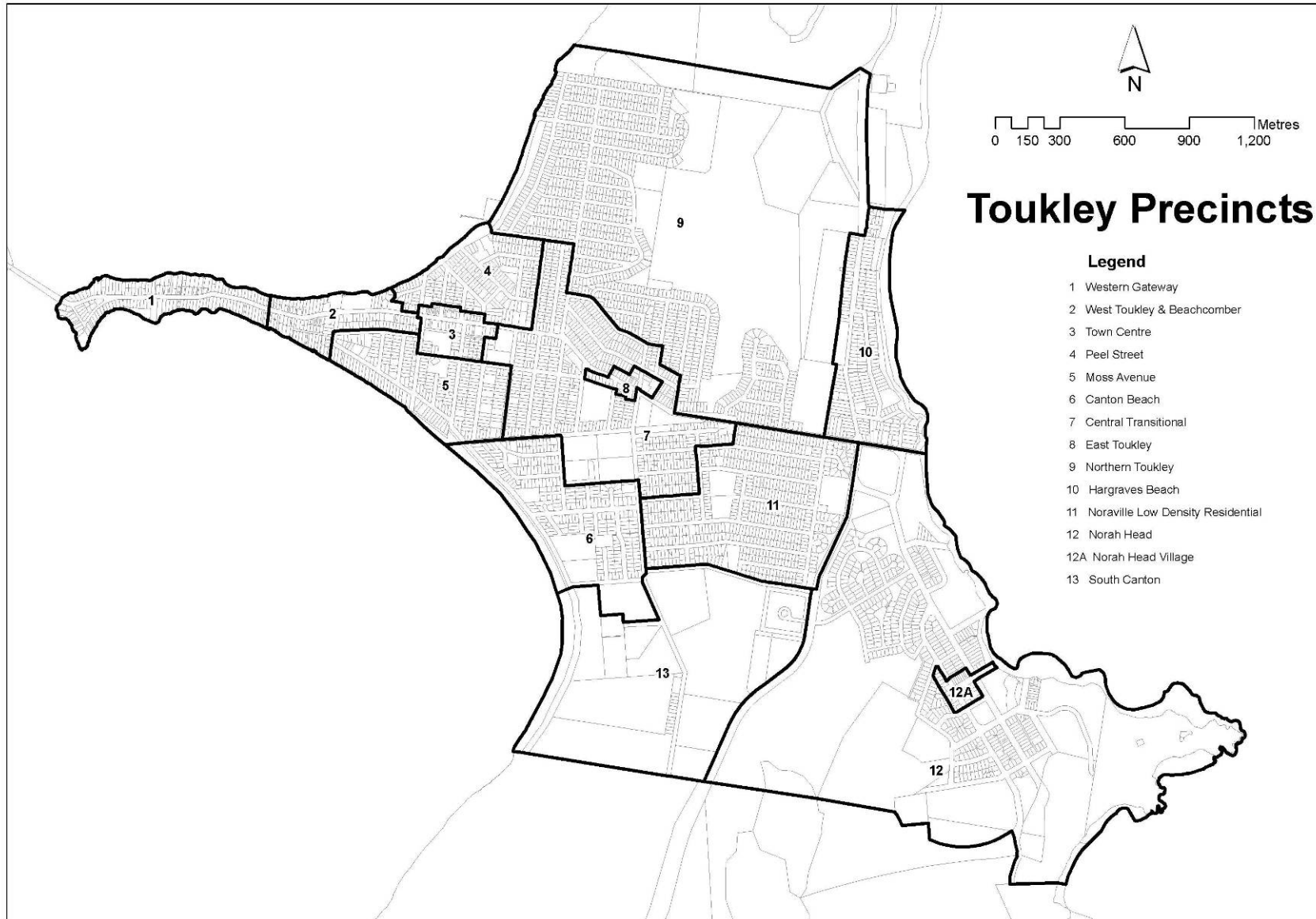


Figure 10: Precincts Map

The Strategy is based on a detailed review of the 2006 draft Strategy, the feedback received during the 2006 public consultation and the recommendations of the CCRS including population, dwelling and employment targets. Further, the Strategy has been informed by updated Census data, the Toukley Economic Viability Study and by emerging considerations such as climate change, sustainability criteria and the changed global economic conditions. The scope of the constraints and opportunities has been expanded together with detailed analysis and planning recommendations for a wider selection of Precincts. The Strategy has been developed to address the local issues and opportunities while underpinning the delivery of the key objectives of the SSV.

The Strategy area has been divided into 13 Precincts, each with a unique character and common opportunities. Some Precincts will show more potential for change than others while all show scope for improvement in environmental, social and economic conditions. The Precincts are shown on Figure 10 and include:

- Precinct 1 - Western Gateway
- Precinct 2 - West Toukley and Beachcomber
- Precinct 3 - Toukley Town Centre
- Precinct 4 - Peel Street
- Precinct 5 - Moss Avenue
- Precinct 6 - Canton Beach
- Precinct 7 – Central Transitional
- Precinct 8 - East Toukley
- Precinct 9 - Northern Toukley
- Precinct 10 - Hargraves Beach
- Precinct 11 - Noraville Low Density Residential
- Precinct 12 - Norah Head
- Precinct 13 - South Canton

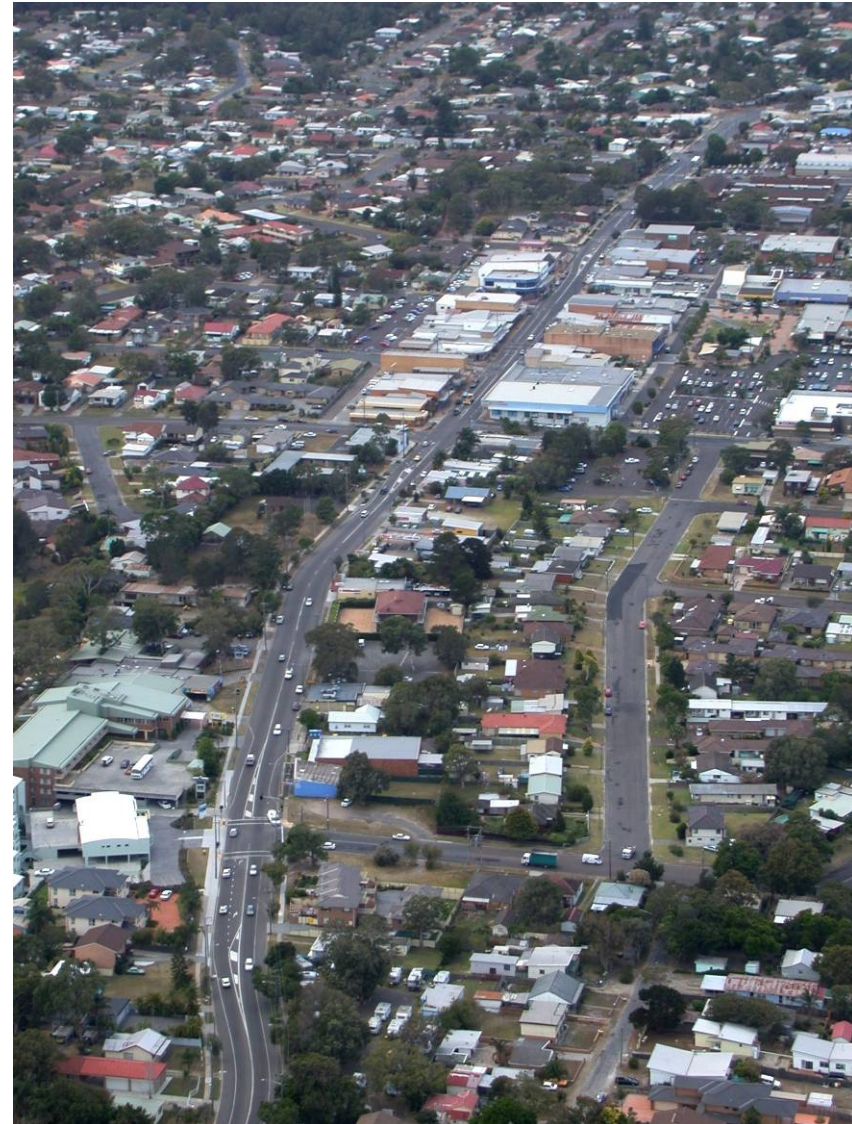


Photo 32: Aerial View looking eastwards along Main Road toward Toukley Town Centre

The Strategy is also based on the principles of liveability that seek to achieve integrated mixed-use neighbourhoods that reduce car dependence with built forms that respect the natural setting and environmental characteristics of the locality. The Liveability Principles as they apply to Toukley were developed in the Toukley Planning Study (October 2003) prepared by Sue Haertsch Planning in association with Urban Strategy and are as follows:

Table 8: Liveability Principles

Centre Structure	Compact and well defined town/neighbourhood centre to form the focal point of each neighbourhood/precinct.
Neighbourhood Structure	Higher residential densities to consolidate activity close to the town/neighbourhood centre.
Walkability and Easy Access	Walking to be encouraged by provision of paved, well-lit footpaths and improved access for pedestrians and less able persons. While giving priority to pedestrians, make provision for motor scooters and other personal transport to use public roads and footpaths.
Neighbourhood Facilities	Access to neighbourhood centre and facilities to be safe and attractive.
Safety and Surveillance	Town/neighbourhood centres designed to provide frontages with windows, entrances and activity facing onto and providing passive surveillance of the public domain.
Choice/Flexibility/Variety	Lot sizes and building form/dwellings should be designed to be adaptable to future land use or residential usage over time.

Environmentally and Culturally Responsive Design	<p>The natural lakes and bushland/ national park setting of Toukley, Noraville and Canton Beach are to be respected in forming land use, design and development controls.</p> <p>The coastal beach and headlands of Norah Head and Hargraves Beach and their erosive character are to be respected in forming land use, design and development controls.</p>
Site Responsive Design	<p>Encourage retention of elements of individual character such as trees, water views.</p> <p>Respect character and amenity of surrounding buildings and public space.</p>
Cost and Resource Efficiency	<p>Promote passive solar design and energy efficient housing, water sensitive urban design of new housing options.</p> <p>Protect affordable housing.</p> <p>Create more compact and economically diverse town/neighbourhood centres.</p> <p>Maximise residential density within the existing urban footprint (minimise environmental impacts of all development).</p>

The 2006 draft Strategy was publicly exhibited with extensive community consultation between 24 March and 1 June 2006. Feedback from the public consultation period raised the following key issues:

- Proposed building height too high in Town Centre and Canton Beach
- Loss of Village Character due to proposed building height
- Roads and traffic problems will be exacerbated
- Detrimental Impact on Area
- Inadequate infrastructure
- Population and densities too high
- Impact on environment
- Crime and vandalism will worsen
- Water supply inadequate to take increased development
- Improve lakes first
- Inadequate carparking
- Not another development like The Entrance or Gold Coast
- Inadequate medical facilities
- Town centre's problem is external competition
- Insufficient police

- High rise development does not suit the aged
- Town centre needs to find a niche

These matters have been carefully reviewed and analysed and have assisted in informing the revised Strategy. These considerations have driven the following recommended key changes:

- Reduced maximum building heights
- Reduced distribution of three to four storey multi-unit residential housing forms
- Increased distribution of lower-scale multiple dwelling housing forms (townhouse and villa) within walking distance of facilities and transport

The above changes have been developed while maintaining population and dwelling capacity targets consistent with the 2006 draft Strategy and CCRS. The Strategy scope has been broadened and revised to provide new or more robust consideration for the following:

- Alignment with the key objectives of the SSV
- A stronger vision and identity
- Wider scope and number of Precincts in Strategy area
- Account for new economic conditions
- Revised planning framework such as CCRS, new SEPPs, REDES, RCS etc
- Settlement Strategy, Comprehensive LEP and Standard Instrument Zones

- Population and dwelling capacity targets
- Stronger emphasis on the lakes, integration with EMP and surrounding natural environment
- Sustainability principles
- Climate change impacts
- Environmental constraints
- Tourist opportunities
- Safety by design principles
- Healthy by design principles
- Access and mobility
- Housing choice
- Pedestrian and cycle linkages
- Passive and active recreation opportunities
- Traffic and transport network and capacity
- Parking
- Implementation plans

Figure 11 on the following page provides a visual representation of the key planning recommendation differences between this Strategy and the 2006 draft Strategy in relation to building type, density and height.



Photo 33: Hargraves Beach

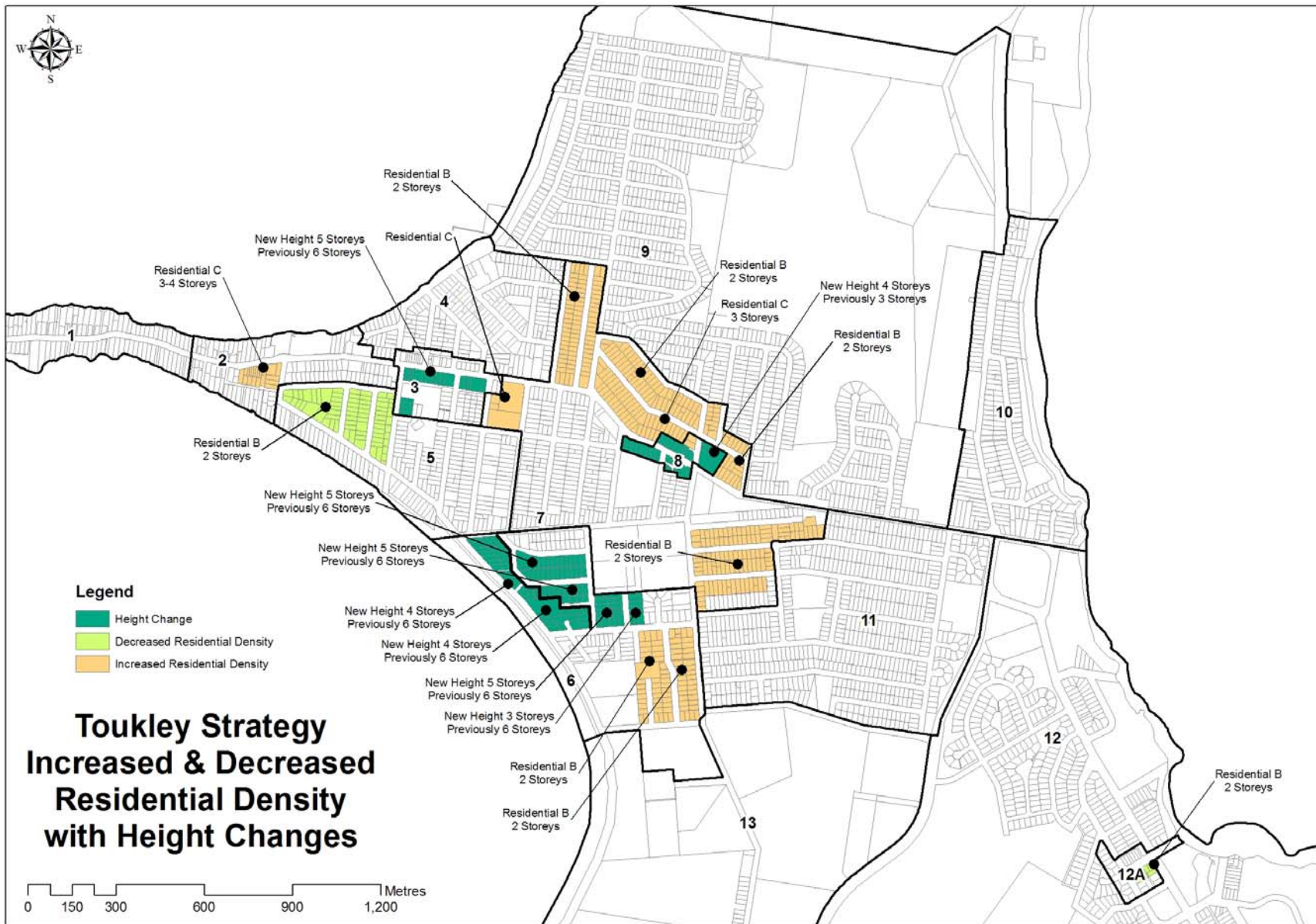


Figure 11: Toukley Strategy Increased and Decreased Residential Density with Height Changes

The Strategy is based on the principles of liveability (elaborated upon in Chapter 4), which seek to achieve integrated mixed-use neighbourhoods that reduce car dependence with built forms that respect the natural setting and environmental characteristics of the locality.

Desired Future Character of the Toukley Peninsula

The Toukley Peninsula will be a vibrant caring and connected community, with abundant natural beauty and a range of facilities and services to cater for residents and visitors of all ages. New buildings and public art compliments the beautiful geographic location, while open space around picturesque waterways provides enjoyment for families. Toukley Town Centre and East Toukley shops provide a safe and relaxed atmosphere, with a vibrant shopping experience. Canton Beach and Norah Head, Beachcomber Precinct and Peel Street foreshore provide for diverse enticing tourist opportunities.



Photo 34: Norah Head

5.1 Strategy Objectives

The Strategy aims to achieve the objectives set out below. These objectives and the principles discussed earlier in Chapter 4 underpin the Precinct plans that make up the Strategy:

- Integrate the principles of sustainability into future planning guidelines, plans and development
- Plan for the impacts of climate change including potential sea and lake level rise, increased storm activity and coastal erosion
- Reinforce the role of the Toukley Town Centre as the primary business hub of the district within a legible urban structure by facilitating diversification of retail and commercial uses, quality residential development with residents 'in town' and preserve the inherent pedestrian scale of the town
- Rationalise the residential zones around the Town Centre and neighbourhood centres, with more housing closer grading to lower density housing further away, to take advantage of the services they offer and facilitate a lively connected village character
- Retain the local role of the East Toukley business area
- Retain the coastal village character of Norah Head, while facilitating low scale tourist accommodation and uses
- Preserve areas of Aboriginal and European Cultural Heritage significance
- Maintain and enhance public amenity of existing parks and reserves with quality landscaping and facilities that provide a variety of activities for residents and visitors

- Establish attractive and welcoming entry statements at the western, northern and southern gateways to the Toukley Peninsula
- Enhance existing streetscapes through themed street tree planting, street furniture and public art where appropriate
- Increase the range of available housing types, including adaptable housing for older persons and lower cost housing
- Promote ease of travel with a focus on public transport facilities and integrated pedestrian and cycleway connections, in addition to street network improvements
- Improve the legibility of and physical connections between the Town Centre, Lake Budgewoi and Canton Beach foreshores
- Acknowledge and promote the tourism potential of West Toukley, Canton Beach, Norah Head and Peel Street foreshore
- Facilitate responsive redevelopment of clubs in the locality subject to detailed guidelines that protect the amenity of surrounding residential areas
- Build upon and define Toukley's relaxed coastal village character to establish a unique identity for the Peninsula, including the open village shopping Precinct of the Town Centre
- Facilitate the provision of the best available information technology utilities and services
- Protect existing important views and vistas where possible and facilitate view sharing principles for new development



Photo 35: Village Green, Toukley

- Protect and manage environmentally sensitive areas including Toukley Wetland, Wyrabalong National Park, Red Gum Forest and foreshore and coastal open space
- Support the objectives and actions of the EMP
- Plan within the key constraints of climate change, flooding, ASS and coastal hazards
- Facilitate high quality redevelopment of strategic sites
- Provide adequate safe public and private carparking to support future growth

- Require the development of design guidelines to advance high quality urban form, which reinforces and enhances Toukley Peninsula's unique relaxed coastal character
- Maintain adequate capacity of public infrastructure, services and facilities
- Facilitate more employment in the Toukley district including home based employment
- Promote safety, accessibility and healthy by design principles
- Facilitate improvements to the public domain in the Town Centre, Canton Beach, Norah Head and other locations, ensuring high amenity and solar access, 'bumping places' for people to meet and socialise, and facilities based upon identified demographic needs
- Achieve effective transitions in the built form between town and village centres, residential areas, the lakes and the ocean
- Improve social and cultural opportunities



Photo 36: Regional playground, Canton Beach

5.2 Strategies and Recommendations

The following lists strategies and recommendations of a general nature that will have application across the Toukley Peninsula, contributing to achievement of the objectives of the Strategy.

Land Use and Planning Control

The following land use changes and planning controls are recommended and shall be developed through the amendment of Wyong LEP 1991 (or the Comprehensive LEP dependent on timing), and via a DCP Chapter for Toukley Peninsula:

- Rezone existing 2(d) High Density Residential land on Main Road to 2(c) Medium Density Residential. A three storey height limit is recommended.
 - Rezone the street block between Tamar Avenue and Dunleigh Street (containing the Toukley Caravan Court) currently zoned 2(b) Multiple Dwelling Residential to 2(c) Medium Density Residential.
 - Rezone certain areas close to the Town Centre, Canton Beach and immediately north of the East Toukley shops from 2(a) Residential or 2(b) Multiple Dwelling Residential zone to 2(c) Medium Density Residential, with recommended building heights varying from three to five storeys.
 - Rezone certain areas close to the East Toukley shops, Canton Beach, facilities and transport from 2(a) Residential zone to 2(b) Multiple Dwelling Residential zone, to permit villa and town house housing with recommended heights up to two storeys.
-
- Photo 37: Active street front in tourist precinct, NSW coast
- Rezone certain areas in the Beachcomber Precinct, Canton Beach foreshore and Norah Head to 2(g) Residential Tourist to facilitate tourist activity at ground floor and tourist or residential accommodation above.
 - Rezone certain vegetated buffer zone lands fronting Wilfred Barrett Drive to 6(a) Open Space zone.
 - Rezone certain 6(a) Open Space zone land at Norah Head and Canton Beach to an appropriate conservation zoning to reflect existing ecological attributes and constraints.
 - Rezone Darren Kennedy Oval from 5(a) Special Uses to 6(a) Open Space to reflect its use for recreation purposes.
 - Rezone 2 Eilden Street to 5(a) Special Uses (Carparking) to facilitate future acquisition by Council in order to address public carparking needs.

- Examine appropriate future zoning of Council carparking in Toukley Town Centre to allow for future development opportunities that facilitate improved carparking levels and function.
- Ensure appropriate future zoning of Council land including Toukley Treatment plant to facilitate ongoing Council Operations.
- Retain the existing land use zoning, 2(a) Residential, to accommodate low density residential development up to two storeys. Equivalent zoning under the Standard Instrument of Residential R2 - Low Density Residential is recommended.
- Introduce building height controls into existing business zones including five storeys in Toukley Town Centre, two storeys at West Toukley shops, three to four storeys for East Toukley and three storeys for Norah Head Village.
- FSRs already apply to the main residential areas governed by DCP 2005 Chapter 64. However, as part of the development of a DCP Chapter for Toukley Peninsula, the FSR will be examined in more detail to determine scope for bonus provisions linked to lot amalgamation, adaptable and affordable housing.
- FSRs for the remaining areas will be developed for the LEP. This process is anticipated to be informed by the development of key masterplans and the Toukley Peninsula DCP Chapter.
- The matter of minimum lot size for land in waterside locations will be investigated as part of the LEP amendment. This will be aimed at reducing the occurrence of battle-axe subdivision and resultant impacts upon visually significant vegetation in lakeside locations.
- Repeal existing DCP 2005 - Chapters 4, 6, 16, 26 and 41 and develop a single Chapter for the Toukley Peninsula. This chapter will clearly define the relaxed coastal village character of Toukley regions and detail design guidelines to achieve this. The Chapter will provide appropriate development controls for mixed use and commercial development in the Town Centre, West Toukley, East Toukley, Canton Beach and Norah Head as applicable. Design guidelines will also be developed in relation to lot amalgamation, adaptable and affordable housing incentives, side setbacks and basement parking alternatives.
- Building design will be an important aspect of achieving the desired future character of Toukley Peninsula. Appropriate coastal design criteria that reflect Toukley Peninsula's relaxed coastal village character will be researched and developed, in consultation with the SEPP No. 65 Panel as part of the future development of the DCP Chapter.



Photo 38: Coastal design, Port Stephens

- The design criteria will also need to take into account the needs to achieve adequate separation from neighbouring developments and streets to provide for adequate open space and view sharing, to minimise potential overshadowing and overlooking impacts, and to provide for the appropriate scale of development.
- In developing planning controls under a new DCP Chapter for Toukley Peninsula, ensure compatibility with SEPP No. 65 provisions regarding the communal open space, sunlight access, natural ventilation, ground level apartment, visual privacy, acoustic privacy, garbage enclosures and definition of storey.
- The new DCP Chapter for Toukley Peninsula is to include a revised Council Minimum Floor Level Policy, ie. that all new dwellings must have a floor level at least 500mm (200mm above the current policy) above the 1% AEP (1 in 100 year) flood level, at or above 2.7 metres AHD.
- The new DCP Chapter is to include reference to Clause 15 of Council's LEP regarding provisions for development in areas affected by ASS.
- Investigate appropriate new planning control provisions for minimum floor to floor height in multi-use/multi-storey buildings with tolerances for different slope categories to provide adequate and appropriate space for varying development types, similar to that advocated in The Entrance Peninsula Planning Strategy. Such provisions are to be tested through the development of a DCP Chapter for the Toukley Peninsula.
- Investigate appropriate future side building setback controls to facilitate public view corridors from Main Road to the lakes.

- Encourage high quality redevelopment/rejuvenation of sites considered important for the evolution of Toukley Peninsula, and facilitate the development of appropriate site specific development criteria.

Housing Diversity

- Changing demographics have created increased demand for housing choice and affordability. It is proposed to provide for appropriate housing diversity by reviewing and revising Council's planning instruments (LEP and DCP) to provide for a suitable match of housing stock with the current and future demographic profiles. This will be done in accordance with the direction provided by Council's document, Promoting Choice: A Local Housing Strategy for Wyong Shire.

Safety, Health and Accessibility

- Promote safety, accessibility and healthy by design principles in redevelopment and public domain improvements in order to improve safety, accessibility and health and wellbeing of residents and visitors.

Community and Cultural Services and Facilities

- Support and enhance the existing range of community and cultural facilities and services available for the Toukley Peninsula. Monitor gaps in service and facility provision. Develop and implement strategies to address service and facility shortfall such as the current lack of youth focussed services.
- Explore partnership opportunities with community groups and local residents through community and cultural projects to promote connectedness.

Sustainability

Incorporate the principles of sustainability into all forms of development. The following six main principles underpin future sustainability:

- Social cohesion which recognises everyone's needs
- Effective protection, conservation and management of the natural environment, biodiversity and cultural heritage
- Effective energy management
- Effective management of hazards, including those associated with sea level rise, ocean processes, flooding, ASS and groundwater resources
- Prudent use of the Toukley Peninsula's attributes and resources
- Achievement and maintenance of stable levels of economic growth and employment



Photo 39: Sustainable development

Pedestrian/Cycle Paths and Facilities

- Inform the Council's draft Bicycle and Shared Pathways Strategy with a focus on extending existing pedestrian and cycle pathways to connect key areas along the foreshores of Tuggerah Lake, Lake Budgewoi and the ocean, and where appropriate, provide direct connections to the adjoining commercial and residential areas
- Maintain and improve connections, and awareness of those connections, to the broader pedestrian and cyclist network, via signage and information materials
- Provide for themed and secure bicycle parking facilities at appropriate locations



Photo 40: Ted Rafferty Cycleway, Norah Head

Traffic, Transport and Parking

- Review traffic management measures via an LATM in the context of proposed development scenarios.
- Ensure that traffic management is carried out progressively with new development.
- Lobby the RTA to upgrade the state roads (Main Road/Wallarah Road and Central Coast Highway) in terms of efficient vehicle movement. This will involve two approach and two departure lanes at the major intersections; and the provision of traffic signals at the Main Road/Peel Street/Yaralla Street and Main Road/Frauent Street intersections and a roundabout at the Central Coast Highway/Oleander Street intersection.
- Lobby NSWTI (New South Wales Transport and Infrastructure) to deliver the Strategic Bus Corridors to obtain real improvements to public transport travel times.
- Pursue with NSWTI the provision of express buses, in peak commuter times, from Toukley to Wyong that do not go into Lake Haven.
- Ensure that adequate allocation for appropriately located car and bike parking is provided within walking distance of all main attractions on Toukley Peninsula.
- Ensure that the requirements of the area's traffic management, LATM and parking schemes are programmed and costed in the Section 94 Contribution Plan including the strategic identification of future land acquisition for laneways and/or parking.
- Require all future major developments to provide or contribute to adequate and appropriate public parking in line with their likely impact on parking demand. This will include providing parking for all types of vehicles including motor homes, cars and caravans, cars and trailers, buses and standard cars.
- Provide public awareness of all vehicle parking facilities and the types of vehicles each parking facility caters for via themed signage, maps and promotional materials.
- Review and revise Council's basement carparking guideline to adequately address issues of groundwater impact, potential ASS and minimum driveway entry levels in light of projected sea/lake level rise.
- Explore suitable alternatives to basement carparking in areas where cost and/or constraints are prohibitive.



Photo 41: Aboveground covered carparking, Noosa

Open Space and Recreation Facilities

Undertake a Local Open Space Study and Structure Plan to provide a context for planning for future open space development and potential funding either via Section 94 or grant applications. This will need to combine and update the work done for the Local Parks Strategy and Action Plan and the Recreation and Sports Facilities Strategy. The Study and Structure Plan will address the following:

- Identify the existing asset and its development
- Identify the range of uses it may serve and the service levels it provides
- Re-assesses demand expressed and predicted
- Demand is synthesised to supply, and a plan prepared, to show the structure of open space in terms of location, development and service level

The Open Space Study and Structure Plan will also consider the following recommendations arising from this Strategy:

- Improve landscaping (using coastal species indigenous to the area), install directional signs and place/feature name signs of an appropriate shape and design at existing open space and reserve areas
- Review the provision and appropriateness of the playground equipment (in terms of suitability for age of users and safety) at all open space and reserve areas. If determined necessary, provide or replace with age appropriate play equipment with adequate safety fencing
- Improve management of parks and reserves by introducing a more frequent management schedule in regard to physical works

- Improve surfaces, landscaping and maintenance of carparks
- Refurbish or replace existing public toilet facilities with more contemporary facilities, where necessary and appropriate
- Incorporate environmental and heritage interpretation facilities at appropriate locations
- Identify opportunities for WSUD treatment of open space areas and potential for integrating bushfire APZs with recreational functions



Photo 42: Amenities block, Southeast Queensland

Lakes, Ecology and Environmentally Sensitive Lands

Reduce the environmental impact of existing and future development in the Toukley area upon native vegetation, fauna habitat and endangered ecological communities through active and passive management for long term conservation of plant species, vegetation communities, fauna populations and habitat, and EECs.

- To ensure persistence of the Peninsula's ecological attributes, an Ecological Management Plan will be required with the following scope to include:
 - 1 Weed control
 - 2 Revegetation and rehabilitation of areas set aside for conservation
 - 3 Measures to minimise impacts by construction and associated activities
 - 4 Habitat enhancement measures
 - 5 Stormwater and aquatic habitat management
 - 6 Road designs in environmentally sensitive areas
 - 7 Fencing and community education to exclude or limit human activities in environmental sensitive areas
 - 8 Monitoring program for threatened plants, fauna and endangered ecological communities

- Continue to support the actions of the EMP as they relate to the Toukley Peninsula and adjacent lakes. Actions include improving water quality and odour, restoring healthy foreshores, creating excellent public facilities, ensuring healthy connecting river and creek habitats, and providing a sustainable fish and prawn population for recreation and commercial fishing.

Economy and Tourism

- Continue to support bodies such as the GTV in attracting sustainable business and events to the Toukley Peninsula, and promoting the region's attractions and relaxed coastal lifestyle.
- Develop a planning framework to establish Canton Beach as a lakeside tourism precinct offering accommodation and supporting services/facilities.
- Consolidate the tourist facilities and opportunities in the Beachcomber Precinct.
- Facilitate for limited low intensity tourist accommodation and uses centred at Norah Head Village to compliment and underpin the precincts attractions.
- Explore ways to better integrate and link areas of tourist interest and potential.



Photo 43: Coastal boardwalk, NSW Coast

- Explore mechanisms to further develop a tourist identity as a platform to promote the Toukley Peninsula.
- Facilitate the development of the Peel Street foreshore for low intensity tourist uses and accommodation in the medium term.
- Consider the capacity of the natural areas of the Peninsula for eco-tourism.
- Consider opportunities for redevelopment of clubs in the locality (Toukley Golf Club, Toukley RSL and Toukley Bowling Club) subject to detailed controls to protect the existing residential character, amenity and solar access of adjoining properties.

Information Technology

- Explore mechanisms that encourage and/or require new development to provide the world's best integrated IT facilities.

Heritage

- Incorporate the recommendations, as they affect Toukley Peninsula, of the Shire wide Heritage Review (currently being undertaken) into planning controls and guidelines where appropriate.
- The foreshores of Tuggerah Lake and the Pacific Ocean are identified as having high potential for Aboriginal heritage. Review Council's planning controls to ensure adequate protection of Aboriginal sites, relics and other items.

Streetscape Improvement and Gateway Treatments

In accordance with Council's capital works program, Asset Management Strategy and future streetscape improvement plans undertake the following:

- Resurface roads using different coloured/textured surfaces, where appropriate, to identify pedestrian only and pedestrian/traffic shared areas.
- Extend kerb and gutter to streets, where necessary and as appropriate as prioritised through the streetscape improvement plans.
- Plant additional trees and/or shrubs in street verges to improve amenity, and reinforce and enhance the relaxed coastal character of Toukley Peninsula.
- Improve existing public domain by installing additional themed lighting, signage and street furniture which fit with the coastal character.
- Consult with Energy Australia regarding replacing power poles and overhead wires, currently in verges, with underground services.
- Improve amenity by installing themed street identification signage of a suitable scale and occasional street furniture, which fit with the relaxed coastal character of Toukley, in appropriate locations.
- Maintain and improve the amenity and safety of existing public toilet facilities.
- Construct footpaths along at least one side of the street for streets identified through streetscape improvement plans. Footpath provision to be co-ordinated so it connects in a logical network.

- Replace existing bus stop shelters in accordance with current designs which incorporate disabled facilities.
- Provide appropriate gateway treatments at the western, northern and southern approaches to the Toukley Peninsula by way of landscaping, themed signage and public art.



Photo 44: Public art, Brisbane City

Climate Change

Toukley Peninsula is susceptible to potential climate change impacts (eg. sea and lake level rise, increased storm activity and intensity, and coastal erosion). Particularly vulnerable are the low-lying foreshore areas and the ocean coastal areas of Noraville and Norah Head. The potential impacts of climate change will be addressed by incorporating appropriate planning solutions as provided through NSW climate change policies (DECCW and DoP) and legislation and through application of Council's draft Climate Change Policy. Accordingly, these policies will be amended as new climate change information and guidelines emerge.

Areas identified as being subject to permanent inundation within the next ninety years (2100) will not be recommended for intensification of land use.

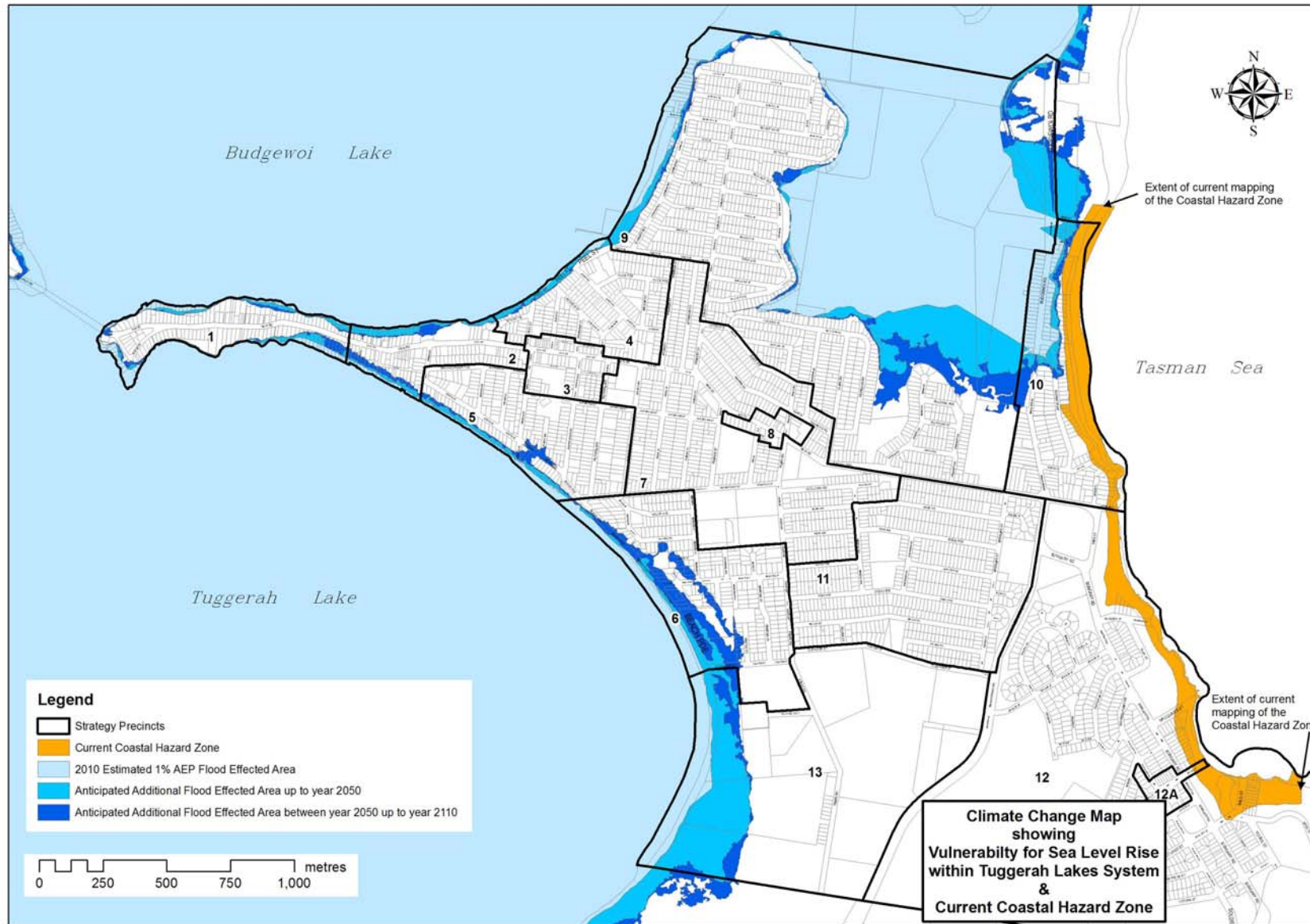


Figure 12: Toukley Vulnerability Map for Sea Level Rise (within Tuggerah Lake System)

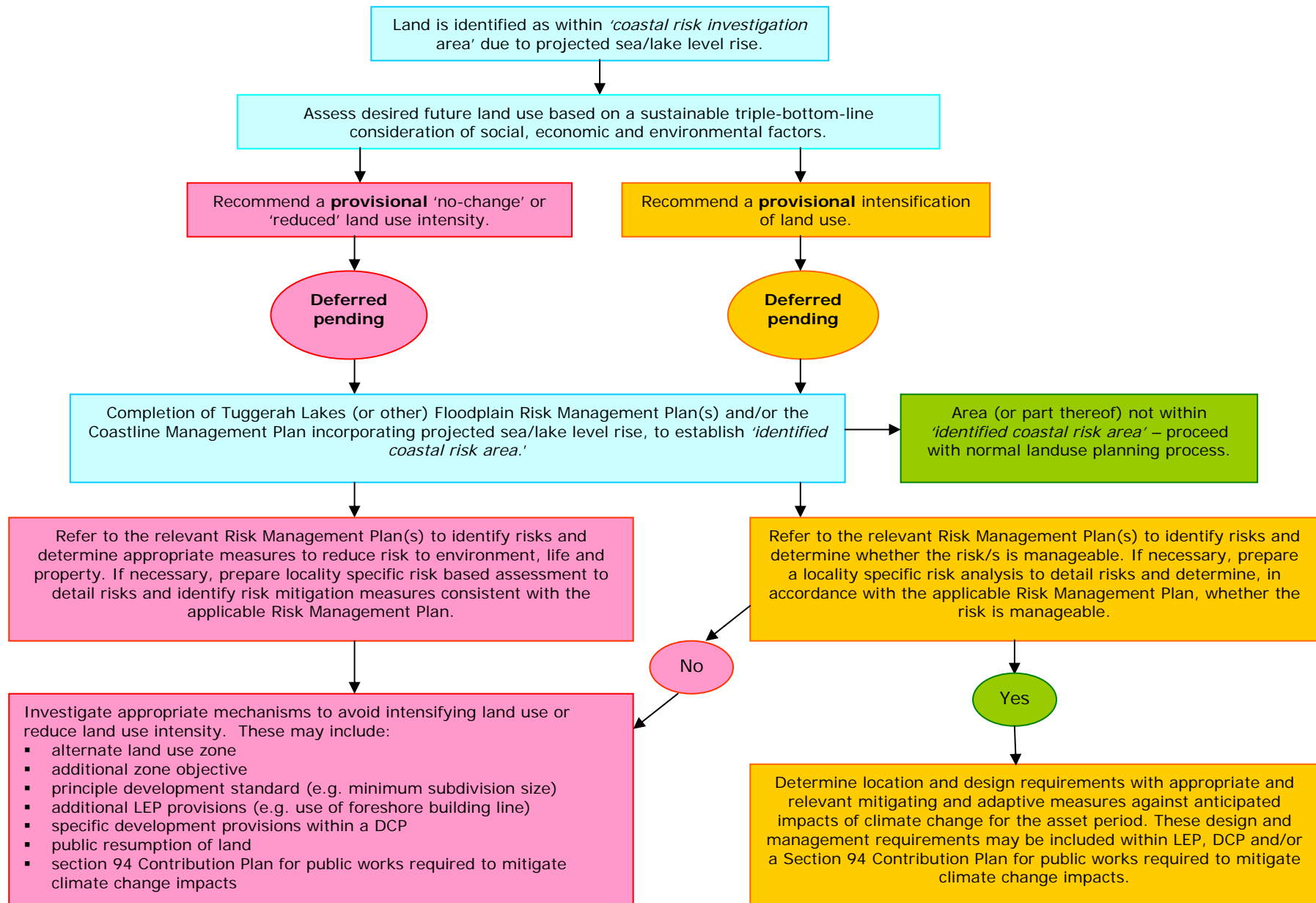
A number of localities in the Strategy area are identified as being potentially impacted by projected lake flooding. Under DoP's Draft Sea Level Rise Planning Guideline, these areas are categorised as investigation areas until new coastal risk studies incorporating sea level rise bench marks have been completed. Upon completion of these studies, such as the Tuggerah Lakes Floodplain Risk Management Plan, certain investigation areas and possibly additional areas will be confirmed as 'identified coastal risk areas'. The flowchart on the following page outlines the strategic approach to land use planning that has been adopted in investigation areas.

In some instances, such as Canton Beach, increased land use intensity is identified by this Strategy following a 'triple bottom line' consideration of social, economic and environmental factors. However, while potential new recommended land uses within these localities are identified, this is on a **provisional basis**. Any subsequent change in zoning for areas identified at risk will be **deferred** pending, firstly, the completion of the Tuggerah Lakes Floodplain Risk Management Plan (incorporating sea level rise projections), which will verify the 'identified coastal risk areas' and secondly, undertaking a comprehensive risk-based assessment process.

If the risk is determined to be manageable, new development will need to be located and designed with appropriate and relevant mitigating and adaptive measures against the anticipated impacts of climate change for the asset period deemed appropriate for the particular development. If it is demonstrated through the risk assessment process that the proposed land use is not sustainable for its defined asset period then based on the precautionary principle it should not be up-zoned and an alternative land use and/or planning control measures will need to be considered.

In other investigation areas no change or reduced land use intensity may be recommended by the Strategy. This also is on a **provisional basis** and will be **deferred**, subject to the verification of 'identified coastal risk areas' by the Tuggerah Lakes Floodplain Risk Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP



Stormwater Management

- Council's WSUD principles will need to be included in future controls on development in the locality in a manner consistent with other parts of Wyong. The key objectives of WSUD Policy are:
 - 1 Potable Water Conservation – Objectives aim to minimise potable water demand and wastewater volumes.
 - 2 Stormwater Quality – Objectives aim to protect receiving water quality by limiting the quantity of key pollutants discharged in stormwater from urban development.
 - 3 Wetland Hydrology – Objectives aim to protect Wyong's key wetland and lake ecosystems from the significant effects of increased runoff frequency, flow, volume and duration. This approach ensures that the hydrologic patterns in wetland and lake ecosystems in developed catchments are similar to predevelopment conditions.
 - 4 Waterway Stability – Objectives aim to prevent exacerbated erosion downstream of urban areas, by managing the manner of flow delivery as well as peak flows and volumes.
- Isolated flooding, due to capacity issues within the drainage system and those resulting from the natural topography, are to be addressed via Council's capital works and maintenance programs, as required.

Investigate the benefit of preparing a comprehensive drainage scheme for the Strategy area, to permit Section 94 funds to be collected and used to address any future drainage issues.



Photo 45: Constructed wetland

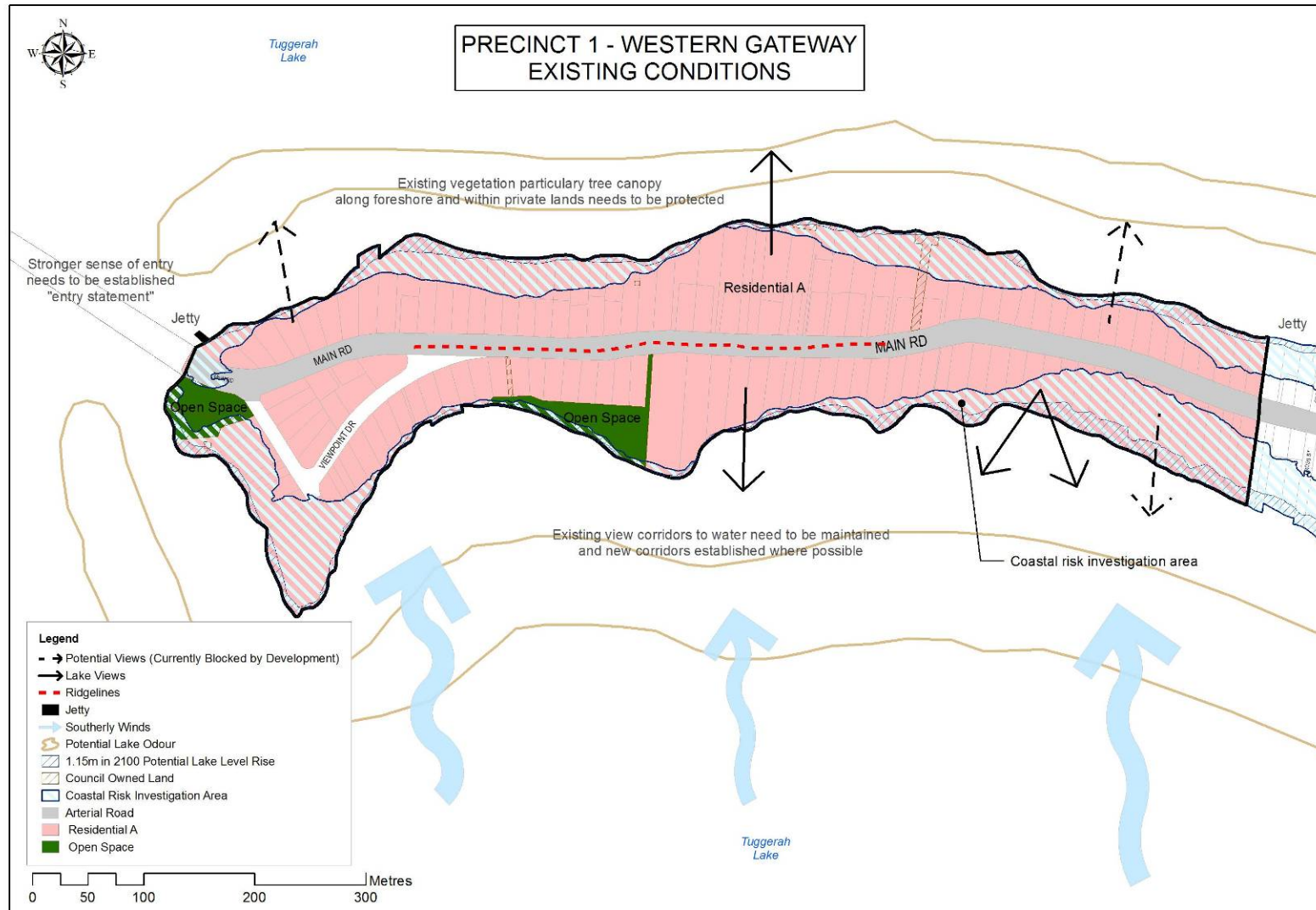
Flooding

- Incorporate into the new DCP Chapter for Toukley Peninsula a guideline to reflect Wyong Shire Council's Flood Prone Land Policy, where habitable floor levels must be at or above RL 2.7 metres AHD or 1% AEP plus 500mm, whichever is the higher.
- Incorporate into the new DCP Chapter for Toukley Peninsula a guideline to require all access/egress to/from flood hazard sites to be at or above RL 2.7 metres AHD or 1% AEP plus 500mm, whichever is the higher.
- Ensure that the new DCP Chapter for Toukley Peninsula, is consistent with the recommendations of the future Tuggerah Lakes Floodplain Risk Management Study and Plan. This study will provide relevant direction for development in Toukley particularly in relation to minimum floor levels, pedestrian stairway access design and entry to basement carparks.
- As the sewerage system shutdown is potentially the most significant issue in relation to flooding issues, notify the appropriate Council section of the recommendations to protect the infrastructure and the environment, including:
 - investigate and address the potential impacts of shutting down the sewerage system during floods
 - flood proof the sewerage system by sealing low lying pump stations and sewer manholes
- To mitigate risk and protect people, review the current flood evacuation procedures and ensure that an effective flood warning system is available that provides reliable forecasts so that residents and visitors to the area are able to safely evacuate.

Bushfire

- Advise Council's Open Space and Recreation Section of the bushfire risk to existing properties adjoining natural bushland. Appropriate budget should be allocated to construct fire trails and APZs in known locations where there is a risk to property and life.

5.3 Precinct 1 - Western Gateway



Map 2: Precinct 1 – Western Gateway Existing Conditions

Location and Character

Precinct 1 – the Western Gateway extends from the western entrance to the Toukley Peninsula at the Toukley Bridge up to, but excluding, the Cross Street commercial area. This Precinct is narrow, less than 300 metres in width, bounded by Lake Budgewoi to the north and Tuggerah Lake to the south.

Main Road is the key road in this Precinct, which follows the ridge of the Peninsula and in some locations is quite elevated providing lake vistas northwards and southwards between existing properties. The majority of properties within this Precinct are long and narrow, have direct access onto Main Road, and many also have private water frontage or waterfront reserve frontage to the Lakes. A significant number on the northern side of Main Road have been subdivided into battleaxe subdivision, a process that threatens the significant vegetation along this visually prominent part of the Peninsula and increases traffic and access points onto Main Road. The other road within this Precinct is View Point Drive which loops to the south of Main Road back onto Main Road in the far western section of this Precinct.

The majority of the properties experience absolute waterfront, many falling moderately and some steeply from Main Road to the Lakes. There is, therefore, little opportunity for lakeside walking or cycleways in this Precinct.

The housing stock varies significantly from older single storey cottages through to newer and larger two storey detached dwellings and dual occupancies.



Photo 46: Main Road looking east

Located on the northern side of the western entry to the Precinct is an unfinished building that has been in place for a number of years and presents an unsightly entry statement to the Peninsula. A vacant former real estate sales building is located just to the east of the entry to the Peninsula, on the southern side of Main Road, and also does little to contribute positively to the built environment upon entry to the Peninsula.

Vision

The Western Gateway Precinct will provide an attractive entry statement to the Peninsula and continue its role as a low scale residential area in a highly prominent and visually scenic environment. Existing vegetation, lake glimpses and the foreshore will be protected from inappropriate development. Streetscape improvements including entry statement, themed signage and enhanced consistent street tree planting will project a positive image of the Peninsula.



Photo 47: Aerial view of western gateway to Toukley Peninsula

Objectives

- Establish an attractive and welcoming gateway to the western end of the Peninsula
- Enhance the visual amenity of the Main Road corridor through streetscape improvements to landscaping, signage, street furniture, street trees and footpaths, in consultation with the RTA where relevant
- Maintain the low scale and low density residential character of the area
- Restrict battleaxe subdivision
- Protect existing significant vegetation
- Provide improved signage for access to public foreshore areas
- Protect, where possible, existing views and glimpses to the Lakes from Main Road and facilitate view sharing for residents and visitors
- Plan for potential lake level rise and other climate change impacts
- Improve awareness of, and connections to, open space and foreshore areas for pedestrians, cyclists and vehicles through improved information facilities, directional signage and physical access
- Incorporate sustainability principles into future development
- Enhance the existing open space for recreation uses, particularly along the foreshore

Strategy and Recommendations

Planning Recommendations

Retain the existing land use zoning, 2(a) Residential, to accommodate low density residential development up to two storeys. Equivalent zoning under the Standard Instrument of Residential R2 - Low Density Residential is recommended.

Investigate appropriate future side building setback controls to facilitate public view corridors from Main Road to the Lakes.

Explore the introduction of a minimum lot size for subdivision to limit battleaxe subdivision.

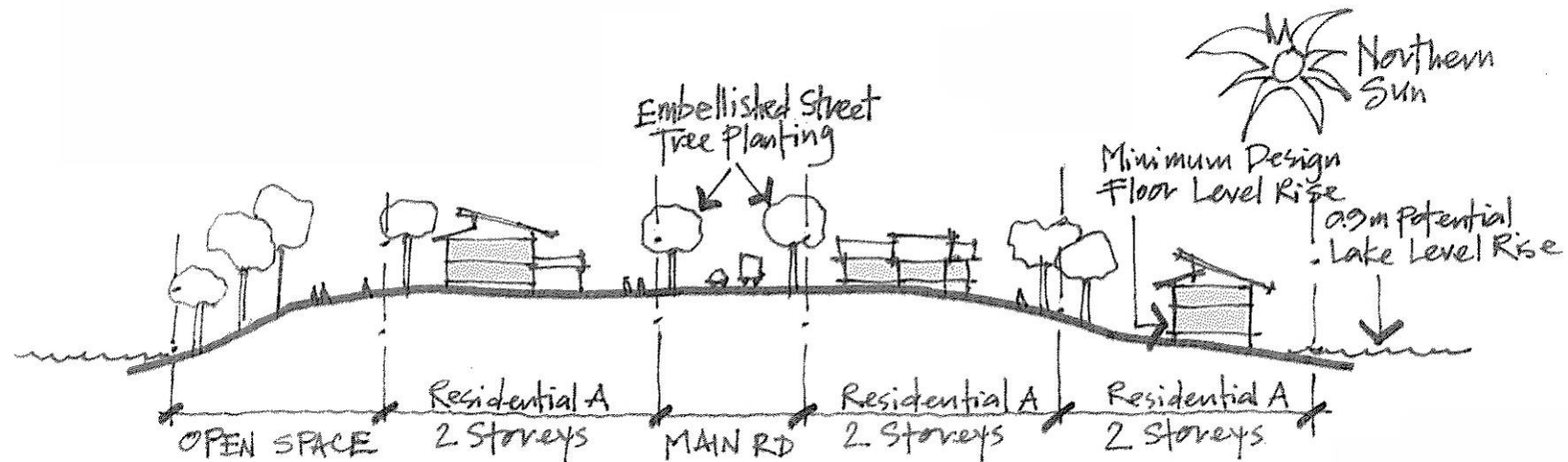


Figure 13: Indicative Section through Precinct 1 – Western Gateway

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements.

Implement the recommendations of the Foreshore Recreation Strategy in accordance with the EMP.



Photo 48: Wharf and old bridge remains, adjacent to Toukley Bridge

Gateway and Streetscape Improvement

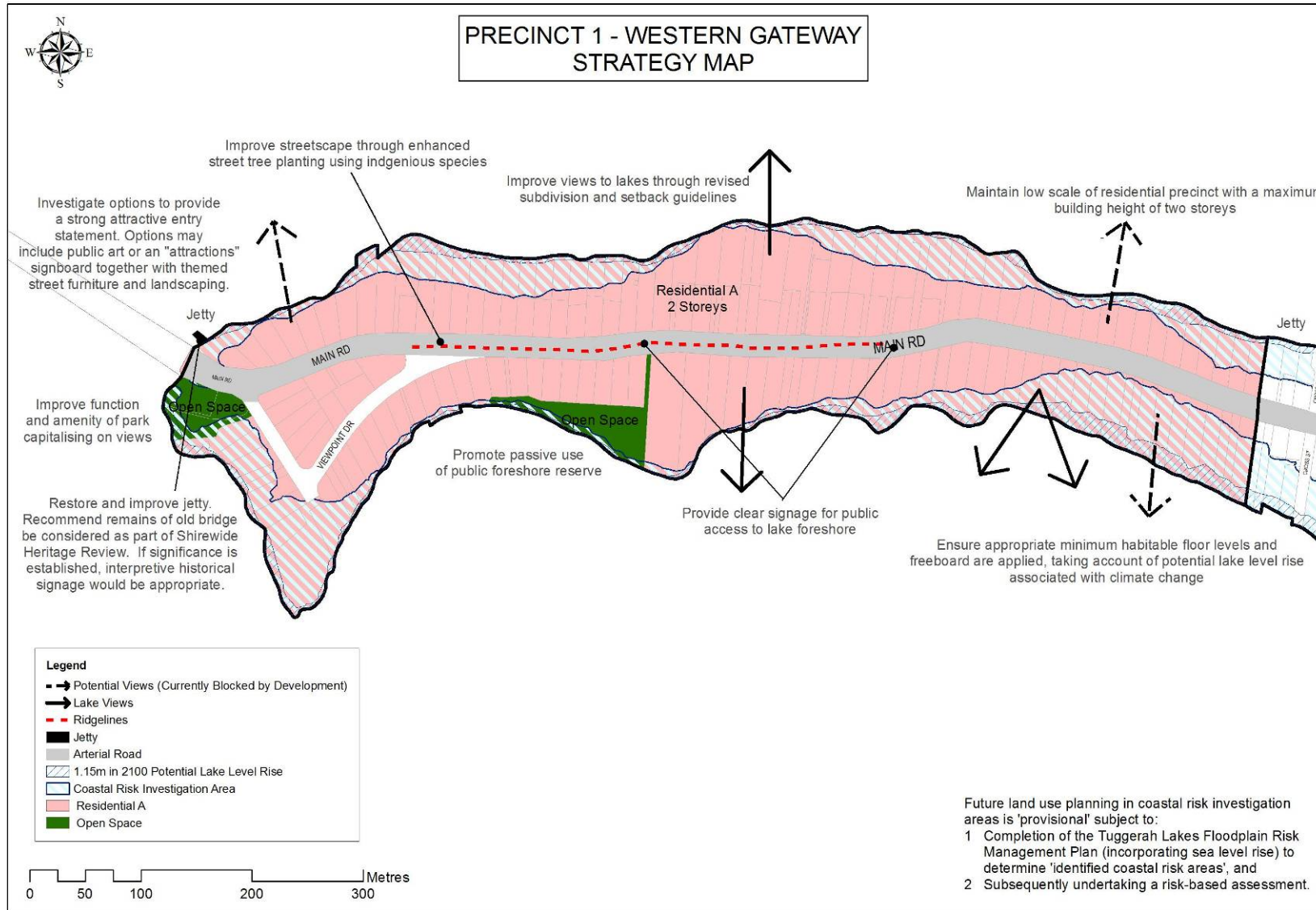
Provide enhanced landscaping and a destination sign at the eastern end of Wallarah Point Bridge (Toukley Bridge) to provide a sense of arrival and identity.

Enhance the open space adjacent to the Bridge including improvement to landscaping, furniture and explore the opportunity for visually prominent public art to contribute to an entry statement.

In consultation with the RTA, investigate and implement a program of street tree planting to enhance the existing street trees using appropriate indigenous species.

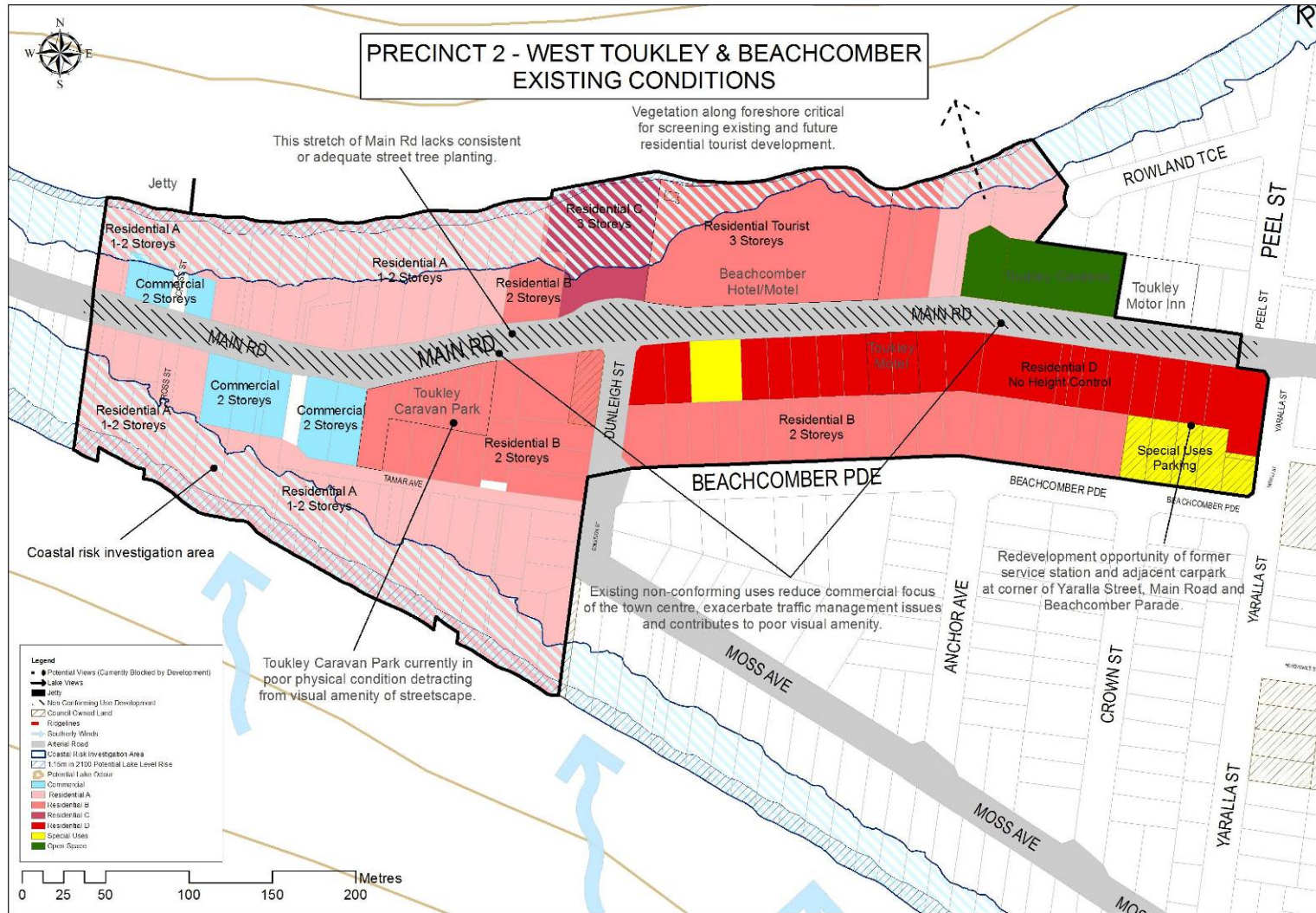
Significant Trees

Undertake a Significant Tree Study examining foreshore vegetation with any recommendation for inclusion into DCP 2005 Chapter 14 – Tree Management.



Map 3: Precinct 1 – Western Gateway Strategy Map

5.4 Precinct 2 - West Toukley and Beachcomber



Map 4: Precinct 2 – West Toukley and Beachcomber Existing Conditions

Location and Character

Precinct 2 – West Toukley and Beachcomber extends from around the Cross Street commercial area in the west up to, but excluding, the Toukley Town Centre. The Precinct includes land along Main Road that Council has previously proposed to rezone from 2(d) High Density Residential to 2(c) Medium Density Residential. The 2(d) High Density Residential land is partly occupied by non-conforming commercial uses. This is a significant underlying issue for the Peninsula.

Fronting onto Main Road, the street block between Tamar Avenue and Dunleigh Street contains the Toukley Caravan Court, a small rundown caravan park that detracts from the visual amenity and provides poor quality housing conditions for tenants. Incentives for redevelopment of this site will form part of the Strategy.

The Strategy supports rezoning the 2(d) High Density Residential and adjoining 2(b) Multiple Dwelling Residential land to 2(c) Medium Density Residential as a means to provide an incentive to reduce the proportion of non-compliant uses. A three storey height limit is recommended, with potential for a fourth level, where design and amenity criteria are met, including consideration of visual impacts from the north.

The investigations have also identified an opportunity for additional residential consolidation beside the Toukley West shops.



Photo 49: Toukley Gardens, Main Road

Town Centre Western Edge

The former service station site at the corner of Main Road and Yaralla Street has been vacant for some time. The service station site redevelopment provides an opportunity to define the western edge of the Town Centre. The adjoining Council owned land (currently used for Town Centre parking) could be added to the potential development site.

The Strategy recommends the introduction of a residential tourist zone on the western edge of the Town Centre because it retains the business zones inside the Town Centre, and builds the relationship of the site with the tourist and entertainment function of the Beachcomber development. A five storey height limit is recommended based on heights in the Town Centre.

Beachcomber

The Beachcomber development is one of the main tourist facilities in Toukley. It is adjoined by a residential complex that helps form a minor “hub” between Main Road and the foreshore of Budgewoi Lake on the western side of the Town Centre. The Beachcomber site is currently zoned 2(b) Multiple Dwelling Residential.

The Beachcomber site is close to the Town Centre and Council has received requests to review the zoning of the 2(a) Residential land adjoining the eastern side of the complex. Rotary Park, a small and run down local open space area on Main Road, adjoining the area is under consideration.

The options for this Precinct include extending the Beachcomber’s 2(b) Multiple Dwelling Residential zone, or introducing a residential tourist zone. Retaining vegetation along the foreshore, especially within the foreshore building line, is critical to soften the visual impact of new development when viewed from the north.

Vision

The West Toukley and Beachcomber Precinct will continue in its role as a commercial and tourist area. Commercial and tourist uses will be facilitated within the designated areas of the Precinct. New medium density residential developments will be encouraged on the southern side of Main Road and beside the West Toukley shops.



Photo 50: Aerial view of Beachcomber Precinct

Objectives

- Recognise the tourism and business potential of the Precinct and identify clear locations for the concentration of those uses.
- Prepare detailed development controls to ensure future developments protect the existing landscape character of the Precinct, including mature trees along the foreshore, and avoid continuous unscreened built walls to Lake Budgewoi.
- Consider opportunities to improve the outlook of Toukley Gardens and to integrate the park with the northern residential Precinct and the foreshore. A land swap to locate a park closer to the foreshore should be investigated.
- Protect and supplement existing vegetation, particularly within the foreshore building line. Ensure that building footprints retain existing mature vegetation.
- Allow three storey built form along Main Road in designated locations with potential for a fourth level where design and amenity criteria are met.
- Facilitate redevelopment of the street block containing the Toukley Court Caravan Park for medium density residential development.
- Encourage increased usage of the Town Centre by-pass route.

Strategy and Recommendations

Planning Recommendations

Rezone the 2(d) High Density Residential and adjoining 2(b) Multiple Dwelling Residential land on Main Road and Beachcomber Parade to 2(c) Medium Density Residential as a means to provide an incentive to reduce the proportion of non-compliant uses. A three storey height limit is recommended.

Rezone the street block between Tamar Avenue and Dunleigh Street (containing the Toukley Caravan Court) from 2(b) Multiple Dwelling Residential to 2(c) Medium Density Residential.

The detailed controls for residential development at West Toukley should adopt the performance criteria of the NSW Residential Flat Design Code for setbacks, amenity, overshadowing, privacy, solar access and landscaping.

Detailed design and amenity criteria are recommended for the designated street block where the potential for a fourth storey has been identified. This would include controls to require the fourth level to be further setback to maintain a lower scale along Main Road. This is important to maintain a legible urban structure because the Precinct is outside the Town Centre.

Rezone the former service station site at the corner of Main Road and Yaralla Street and the adjoining Council owned land 2(g) Residential Tourist zone with a five storey height limit. Future redevelopment of this site will be required to secure additional public carparking and provide an active street front to Main Road and Yaralla Street.

Rezone the Beachcomber development and vacant land adjoining to the east from 2(a) Residential and 2(b) Multiple Dwelling Residential to 2(g) Residential Tourist zone with a height limit grading from three storeys to Main Road, four storeys facing the lake down to two storeys adjoining 2(a) residences to the east.

The foreshore building line should be maintained and supported by controls to protect existing vegetation along the foreshore. Controls on building footprints and setbacks are recommended to ensure future developments are "broken up" into discrete buildings and do not form a long continuous edge.

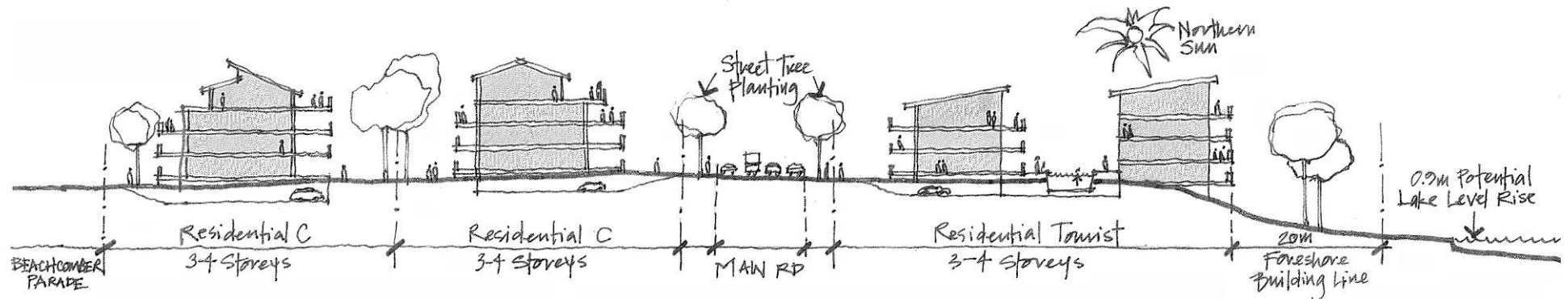


Figure 14: Indicative Section through Precinct 2 – West Toukley and Beachcomber

Certain areas of the locality are identified as being affected by flood inundation by 2050 or 2100 under a 1 in 100 year flood scenario due to projected climate change impacts. While potential new recommended land uses within these localities are identified, such as the 2(g) Residential Tourist zone, this is on a **provisional** basis only. Any subsequent change in zoning for areas identified at risk will be **deferred** pending firstly, the completion of the Tuggerah Lakes Floodplain Risk Management Plan (incorporating sea level rise projections), which will verify the identified 'coastal risk' areas and secondly, a comprehensive risk-based assessment process. If the risk is determined to be manageable, new development will need to be located and designed with appropriate and relevant mitigating and adaptive measures against the anticipated impacts of climate change for the asset period deemed appropriate for the particular development. If it is demonstrated through the risk assessment process that the proposed land use is not sustainable for its defined asset period then, based on the precautionary principle, it should not be up-zoned and an alternative land use and/or planning control measures will need to be considered.

While no change to land use zones is recommended by the Strategy within remaining coastal risk investigation areas, this is on a **provisional basis only** and is subject to the verification of 'identified coastal risk areas' by the Tuggerah Lakes Floodplain Risk Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP Chapter



Photo 51: Beachcomber Precinct foreshore to Lake Budgewoi

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements.

Implement the recommendations of the Foreshore Recreation Strategy in accordance with the EMP.

Streetscape Improvement

Enhance Toukley Gardens including improvement to landscaping, furniture and explore the opportunity for appropriate public art to contribute to the Precinct. Investigate opportunities to improve the park outlook and connections to the foreshore or northern residential areas.

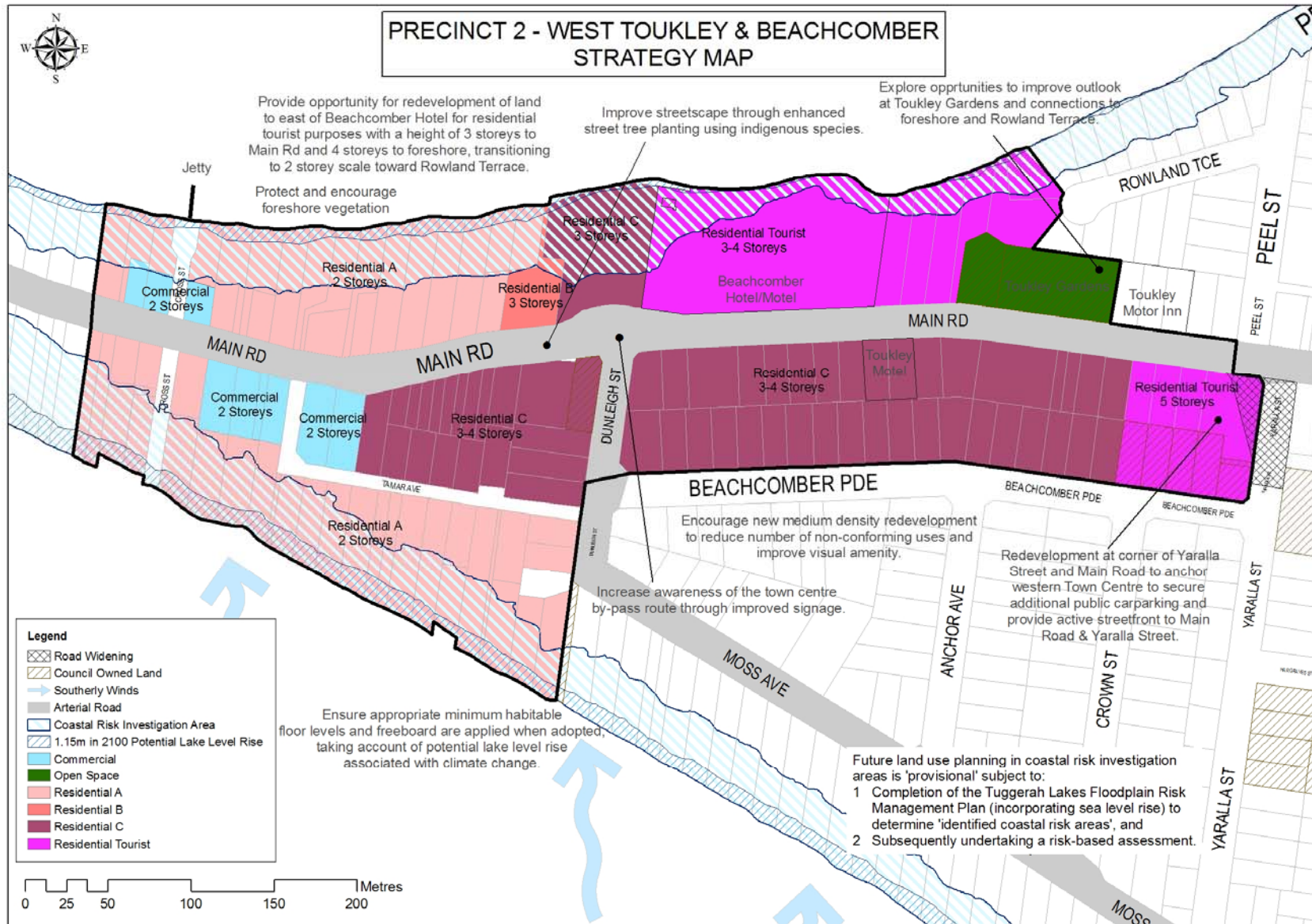
In consultation with the RTA investigate and implement a program of street tree planting to enhance the existing street trees using appropriate indigenous species.

Significant Trees

Undertake a Significant Tree Study examining foreshore and mid-block vegetation with any recommendation for inclusion into DCP 2005 Chapter 14 – Tree Management.

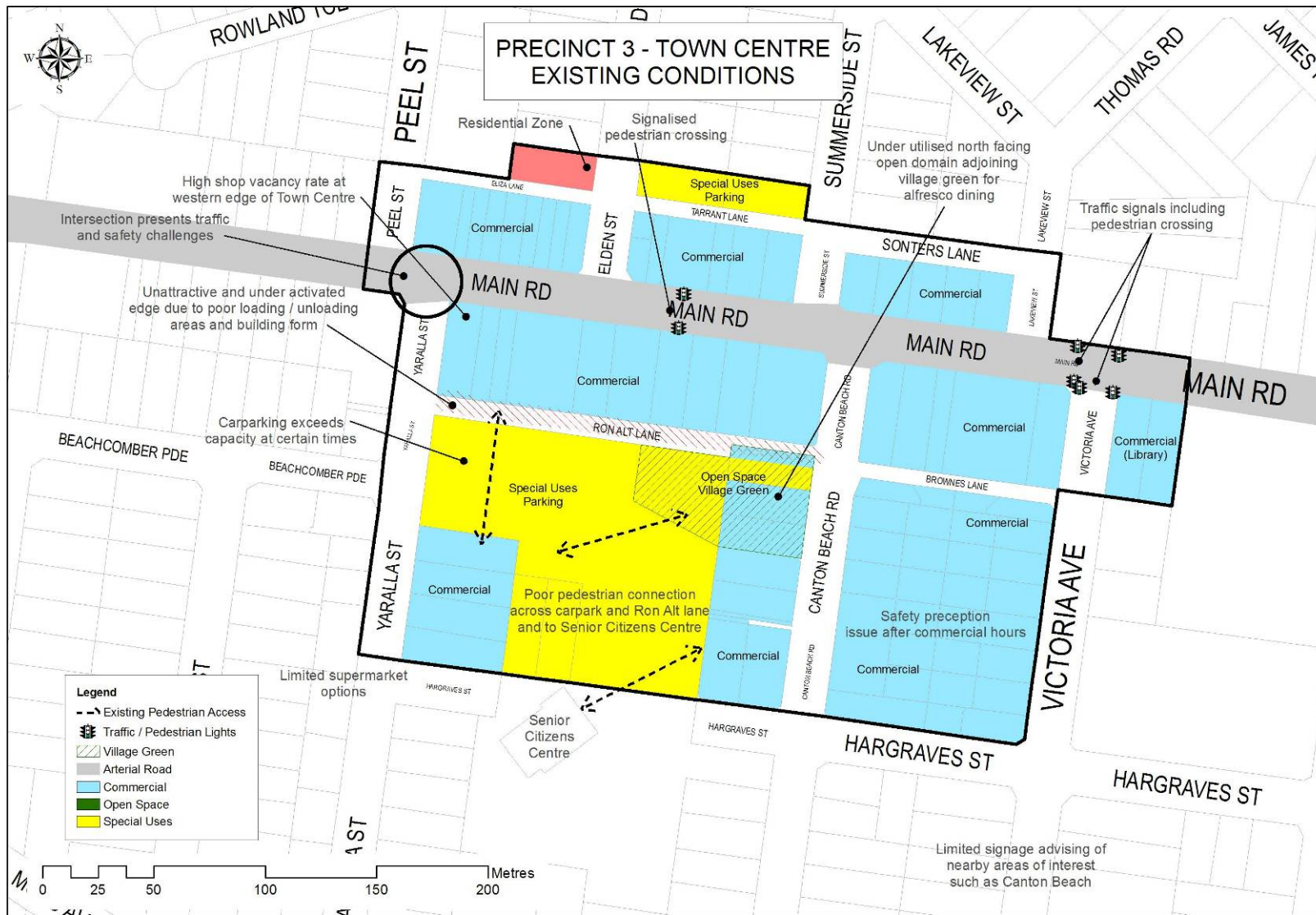
Traffic and Transport

In consultation with the RTA encourage efficient use of the Toukley Town Centre by-pass route by increasing awareness through improved signage.



Map 5: Precinct 2 – West Toukley and Beachcomber Strategy Map

5.5 Precinct 3 - Town Centre



Map 6: Precinct 3 – Town Centre Existing Conditions

Location and Character

Precinct 3 – Town Centre and reinforcing the role of the Town Centre as the main hub of the Peninsula is a critical issue for the Strategy. This requires a planning regime that contains the retail/commercial footprint of the centre and strengthens its economic base, preferably with a new resident population to boost the customer base and add “after hours” activity to the centre.

The existing conditions, constraints and opportunities of the Town Centre are shown in Map 6. Significant issues include:

- Appropriate building heights and built form
- Planning for a residential population within the Town Centre as a means to bring life and activity to the centre after hours
- Building on the focus and identity created by the Village Green
- Providing for appropriate densities and a mix of dwelling types in the fringe areas, including residential units served by lifts
- Improving physical and visual connections to Budgewoi and Tuggerah Lakes

The Planning Study recommended that future controls for the Town Centre maintain the relaxed coastal character, while allowing development opportunities to facilitate its revitalisation. Possible future building heights could range between three and six storeys. An analysis of the Town Centre conditions has highlighted tensions between competing components of the built environment:

- Best practice planning and urban design demands that solar access to footpaths and public spaces should be maintained in mid-winter for good urban amenity, and that street frontages should be active. It is therefore important that the Strategy principles do not encourage developments to “turn their backs” to the streets, including Main Road. Redirection of traffic from Main Road along the by-pass route will improve the conditions and attractiveness of Main Road for road and pedestrian users.
- The relatively low scale of buildings in Toukley is a significant factor that underpins its character. However, successful revitalisation of the Town Centre is partly reliant on allowing increased densities, possibly in the form of mixed commercial and residential developments in buildings up to five storeys where site conditions allow (mainly determined by site dimensions and orientation).
- No limits currently apply to floor space and, although existing buildings are predominantly single storey with some two storey buildings, a five storey development has been approved on the northern side of Main Road, although this has not proceeded to construction. This has created expectations for more intense development forms.



Photo 52: Main Road, Toukley Town Centre, looking east

Raising building heights will create opportunities for more floor space and therefore new opportunities for economic revival of the centre. However, taller buildings run a risk of significantly changing the perceived scale of the townscape and adversely impacting on the amenity of public spaces.

Vision

The Strategy's vision is to revitalise the Town Centre as a thriving coastal town. Toukley will assert its role as the retail, commercial and administrative centre of the Peninsula.

Toukley will embrace its relaxed coastal character and temperate climate. The footpaths, and public and community spaces in the centre will have good amenity (especially solar access) to encourage outdoor activity.

The planning controls will allow realistic opportunities for redevelopment, but will demand good built outcomes that do not compromise best practice expectations for good urban design. New development will be seen above the tree line, but will be partly softened by the tree canopy that will be protected by the development controls. The maximum building heights proposed reflect the importance of the centre to the Peninsula.

New residential units will be encouraged above active commercial and retail uses at ground level. The units will have good amenity and outlook, many with views to the lakes and therefore will be desirable places to live. The layout and planning of the units will be suited to a range of life stages.

The centre's legibility and connectivity will be improved by through site links and attractive pedestrian spaces radiating out from the centre's heart at the Village Green.



Photo 53: Aerial view of Toukley Town Centre

Objectives

- Support development of the Town Centre as the retail, commercial and administrative hub of the district.
- Contain the footprint of the centre and allow new buildings up to five storeys.
- Require commercial uses at ground level and encourage residential development above.
- Concentrate commercial activity along Main Road and around the Village Green.
- Identify opportunities to fund Town Centre and civic improvements (including street tree planting).
- Establish physical and visual connections to the surrounding residential Precincts, Canton Beach and Lake Budgewoi.
- Enhance the landscape character and biodiversity habitat of the Town Centre with additional tree plantings of locally indigenous species, and by protecting existing mature and substantial trees.
- Promote safety, accessibility and healthy by design principles including improved pedestrian connections within the Town Centre (particularly through the central carpark).
- Explore opportunities to increase public carparking within and around the Town Centre.

Strategy and Recommendations

Planning Recommendations

Undertake a detailed masterplan for the Town Centre and key adjoining sites, such as the Senior Citizens centre, the former service station site and public land used or identified for carparking on Yaralla Street and Beachcomber Parade. The masterplan shall examine and develop a framework and actions to address recommendations pertaining to the Town Centre including linkages, carparking, servicing and safety.

The detailed development controls to support the Strategy for the Town Centre will incorporate the elements set out in the table below.

A height limit of five storeys in the Town Centre is recommended subject to controls that maintain a two storey “street wall”. It is unlikely that the maximum height would be achieved in all parts of the centre because of constraints from the orientation and dimensions of some lots, and the inability to achieve necessary setbacks for solar access and privacy.



Photo 54: New medium rise building in Victor Harbor Town Centre, South Australia

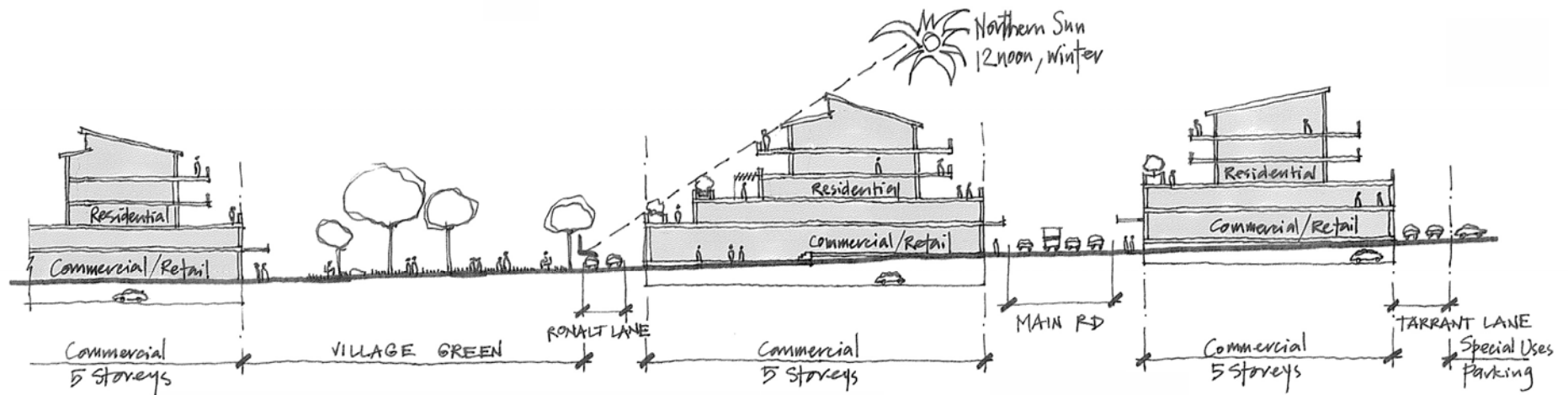


Figure 15: Indicative Section through Precinct 3 – Town Centre

Taking into account the existing conditions, constraints and opportunities, the strategic direction for the Town Centre needs to:

- Allow the Town Centre to develop as the retail, commercial and administrative centre of the district.
- Contain the footprint of the centre and concentrate commercial activity along Main Road and around Village Green.
- Require active retail and commercial uses at ground level and encourage residential units above.
- Permit building heights up to five storeys in the centre subject to ensuring setbacks above the second level to maintain a lower scale street wall, and satisfying best practice amenity and urban design controls to ensure upper level units are not too deep and have adequate sun access and cross ventilation.
- Maintain solar access to the southern side of Main Road and to the Village Green.
- Identify opportunities to fund Town Centre public domain improvements.
- Establish physical and visual connections to Canton Beach and Lake Budgewoi foreshore.
- Maintain, and where possible, increase public parking within the centre. Investigate appropriate future zoning under the Standard Instrument in order to accommodate carparking needs and compatible land uses as informed by the masterplan process.
- Develop a vehicle delivery and loading strategy that aims to conceal delivery areas and permits better activation of Ron Alt Lane by commercial and retail uses.



Photo 55: Village Green, Toukley

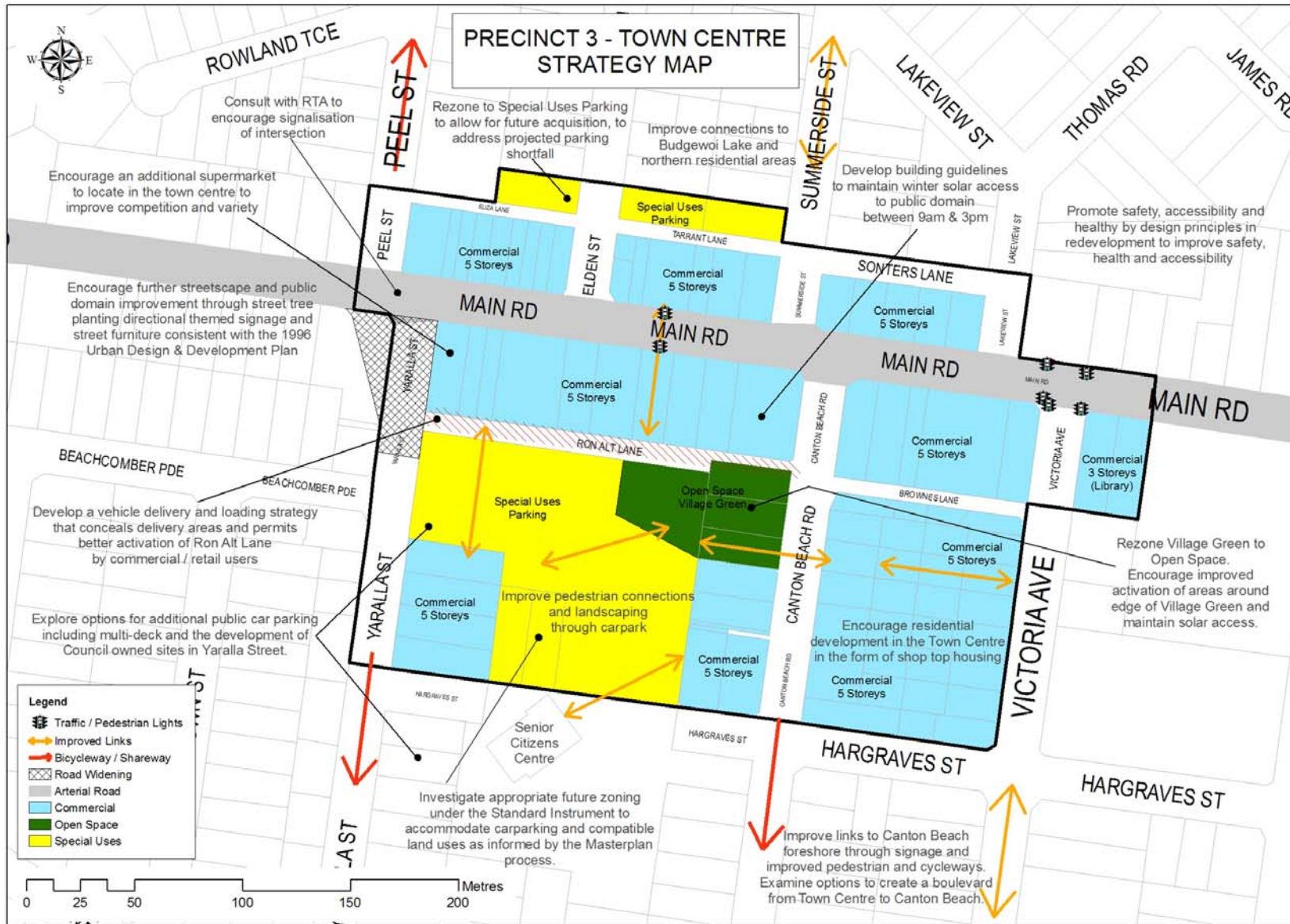
- Promote safety, accessibility and healthy by design principles in redevelopment in order to improve safety, health and accessibility particularly through improved pedestrian links through the central carpark area.

- Encourage a second supermarket to locate in the Town Centre to promote competition and variety.
- Consult with the RTA to encourage signalisation of the Peel Street, Yaralla Street and Main Road intersection, and incorporating future intersection road-widening.
- Encourage further streetscape and public domain improvement through street tree planting, directional themed signage and street furniture consistent with the 1996 Urban Design and Development Plan.

Table 9: Height Limit

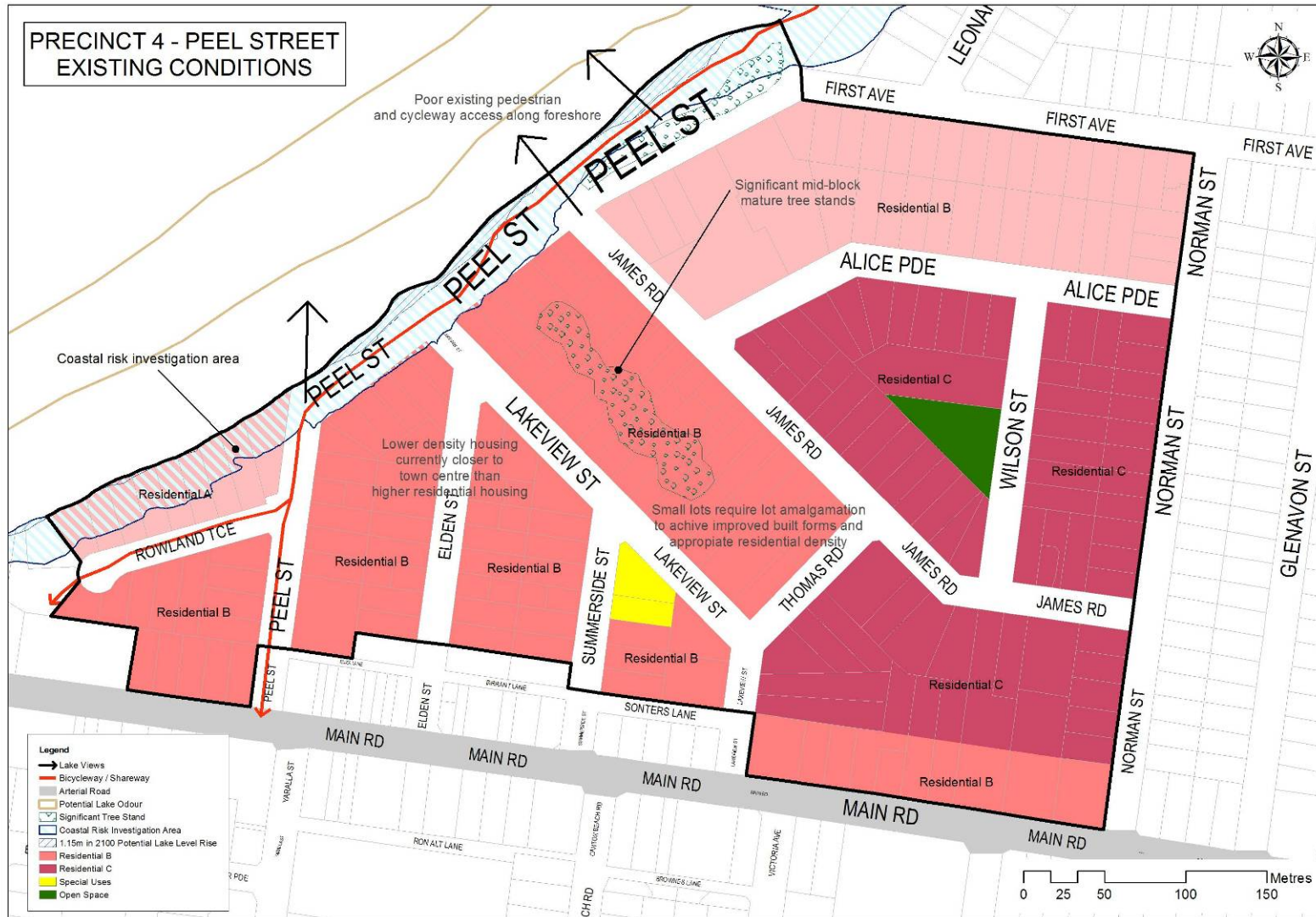
Area	Criteria
Northern side Main Road	<p>Maximum five storey height limit subject to demonstrating the following principles are achieved:</p> <ul style="list-style-type: none"> ➤ All levels above two storeys to be setback to retain lower scale street edge. ➤ Maintain solar access to the southern footpath of Main Road between the hours of 9:00am and 3:00pm in mid-winter. ➤ An acceptable relationship is achieved to residential properties to the north. This may require upper levels to be setback from the northern boundaries to achieve adequate building separation using the guidelines contained in the NSW Residential Flat Design Code.
Southern side Main Road	<p>Maximum five storey height limit subject to demonstrating that the following principles are achieved:</p> <ul style="list-style-type: none"> ➤ All levels above two storeys to be setback to retain lower scale street edge. ➤ Maintain solar access to the Village Green between the hours of 9:00am and 3:00pm in mid-winter. ➤ Demonstrate that all residential units satisfy the amenity and setback/building separation distances of SEPP No. 65 and the NSW Residential Flat Design Code. <p>Note: The depth of blocks on the southern side of Main Road may require upper levels to be broken up to satisfy the amenity, setback and building separation requirements. This may limit the ability to achieve the maximum building height.</p>

Area	Criteria
Remainder of Town Centre	<p>Maximum five storey height limit subject to the following principles:</p> <ul style="list-style-type: none"> ➤ All levels above two storeys to be setback to retain lower scale street edge. ➤ Maintain solar access to public spaces including footpath areas between 9:00am and 3:00pm in mid-winter. ➤ Demonstrate that all residential units satisfy the amenity and setback/building separation distances of SEPP No. 65 and the NSW Residential Flat Design Code. ➤ Require setbacks and/or building articulation to enable mature tree plantings. <p>Consider opportunities to increase public parking, including parking in basement levels.</p> <p>Identify opportunities for joint-venture projects that could provide community facilities or aged/affordable housing.</p>



Map 7: Precinct 3 – Town Centre Strategy Map

5.6 Precinct 4 - Peel Street



Location and Character

Precinct 4 – Peel Street is located on the northern side of Main Road between the Town Centre and Lake Budgewoi. The area is within easy walking distance of Main Road and enjoys a northerly aspect with views across Lake Budgewoi. The lower slopes are currently zoned 2(b) Multiple Dwelling Residential. The eastern end of James Street and land between Wilson Street and Norman Street are currently zoned 2(c) Medium Density Residential.

Despite the fact that the existing zones of the Precinct allow residential units and townhouses, very little redevelopment has occurred. Potential constraints to future development of the area are:

- Fragmentation of landholdings
- Small lot sizes requiring amalgamation to achieve improved built form
- A scattering of existing single storey dual occupancy developments throughout the Precinct

Given its close proximity, the Precinct has the potential to support the revitalisation of the Toukley Town Centre, and is well suited to multi-unit residential zones. The Strategy provides the opportunity to rationalise the logic of the zones, locating higher densities closer to the Town Centre and encouraging a future built form that is lower than the Town Centre, and steps down towards the north. The Strategy needs to facilitate redevelopment in this area that promotes adaptable and mobility accessible housing suitable for seniors to locate close to the town and Lake.



Photo 56: Peel Street foreshore looking south-east

Vision

Peel Street will support the Town Centre's revitalisation by accommodating a variety of medium density dwelling types, including units served by lifts suitable for seniors and those with limited mobility.

New development will be designed and sited to maintain views towards Lake Budgewoi from public areas.

The lake foreshore will be improved to provide safe and accessible areas for recreation, particularly walking and cycling including connections to other Precincts.



Photo 57: Aerial view of Peel Street foreshore

Objectives

- Increase residential densities close to the Town Centre and encourage a range of medium density dwelling types on consolidated sites
- Ensure that the built form maintains views to Lake Budgewoi from public areas through development controls
- Improve visual and physical connections between the Town Centre, the Precinct and Lake Budgewoi, as well as along the lake foreshore

Strategy and Recommendations

Planning Recommendations

The detailed development controls to support the Strategy for Peel Street will allow development up to four storeys in height closer to the Town Centre, but should be based on the NSW Residential Flat Design Code. This includes the performance criteria for setbacks, amenity, overshadowing, privacy, solar access and landscaping. A 2(c) Medium Density Residential zone is recommended. Further from the Town Centre and for properties fronting Peel Street foreshore, lower scale housing forms such as townhouse and villa development is recommended under a 2(b) Multiple Dwelling Residential zone. Controls are recommended to require a percentage of adaptable and mobility accessible housing to be provided. Suitable guidelines will be developed for inclusion in an LEP Amendment or within the new Toukley Peninsula DCP Chapter.

Maximum FSRs of between 0.9 and 1.1 are recommended for the 2(c) Medium Density Residential zone, however the higher FSR will be framed as an incentive to achieve adaptable housing and/or affordable housing objectives. Controls for the 2(b) Multiple Dwelling Residential zone will include a height limit of two storeys and FSR control of 0.6:1.

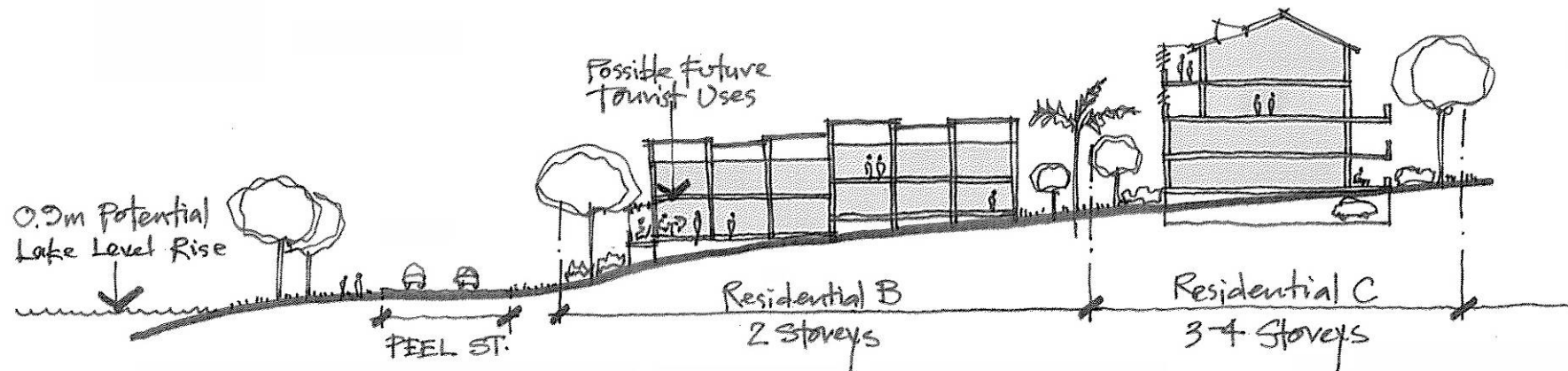


Figure 16: Indicative Section through Precinct 4 - Peel Street

Proposed zones, height and FSR controls will be implemented through LEP Amendments and include LEP Map layers for each. Under the Standard Instrument it is anticipated that the equivalent zones will be R3 - Medium Density Residential and R1 - General Residential respectively.

Lot amalgamations are recommended as a basis for achieving the maximum development potential. As a guide, development above two storeys will require a minimum lot frontage of 24 metres, which in most instances will necessitate lot amalgamation. This will provide adequate site area for setbacks, deep root landscaping and vehicle access. Tall narrow gun-barrel type building forms will be avoided.

View corridors towards Lake Budgewoi from the public domain should be confirmed and supported by controls that ensure future buildings do not obstruct the views.

While no change to land use zones is recommended by the Strategy within coastal risk investigation areas this is on a **provisional basis only** and will be **deferred**, subject to the verification of 'identified coastal risk areas' by the Tuggerah Lakes Floodplain Risk Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)

- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP Chapter

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements. The structure plan should examine the potential need for and role of pocket parks given the anticipated increased residential densities within this Precinct. Funding for any necessary land acquisition will need to be considered as part of the preparation of Section 94 Contribution Plans, in conjunction with the relevant draft LEP.

Implement the recommendations of the Foreshore Recreation Strategy in accordance with the EMP.



Photo 58: Medium density coastal housing, NSW Coast

Streetscape Improvement

Update Council's capital works program to undertake street tree planting and pedestrian improvements to formalise the connection between the Town Centre and the Lake Budgewoi foreshore.

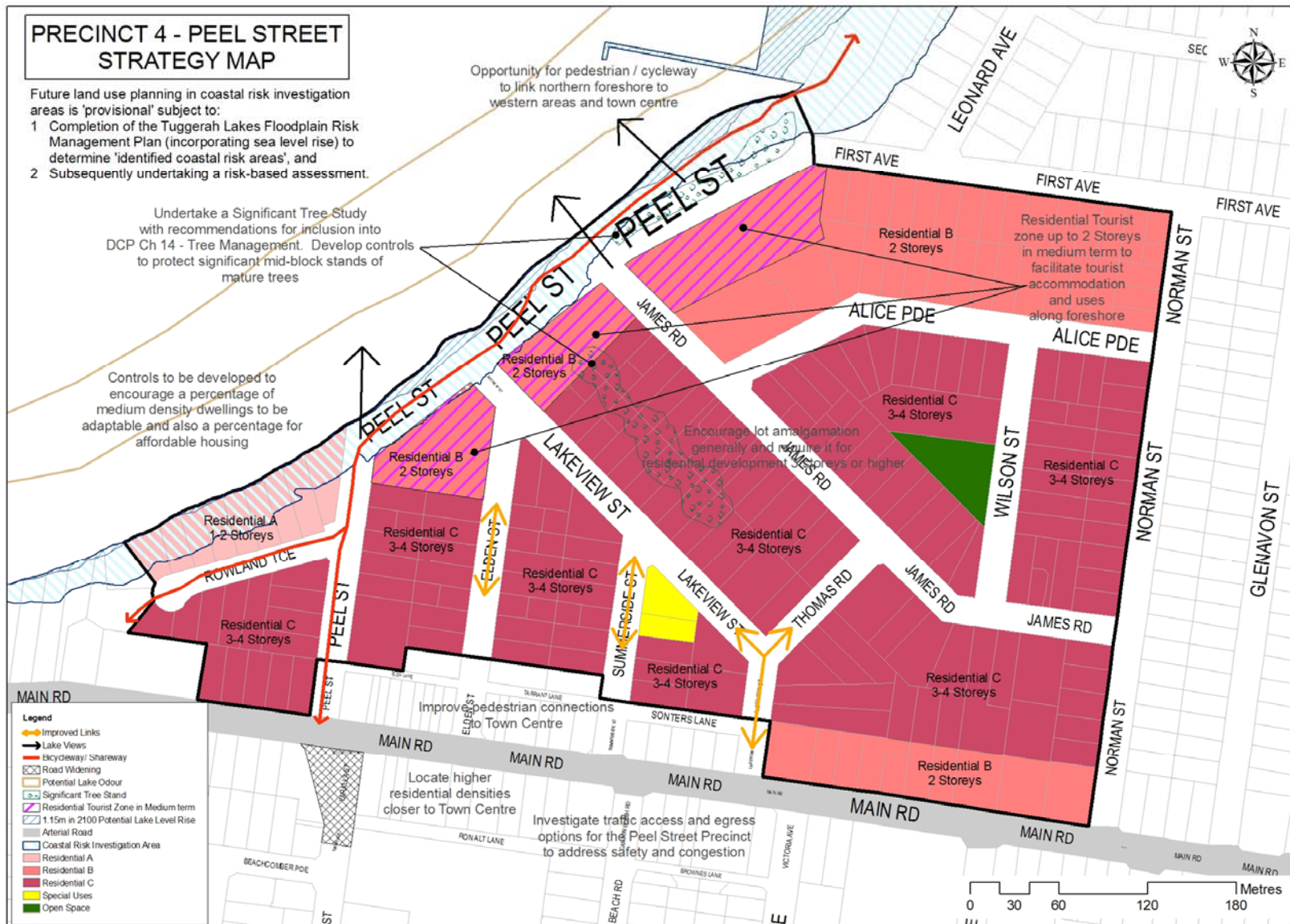
Consideration should be given to utilising the carriageways of particularly wide streets for additional street tree planting, and/or parking.

Significant Trees

Undertake a Significant Tree Study examining foreshore and mid-block vegetation with any recommendation for inclusion into DCP 2005 Chapter 14 – Tree Management.

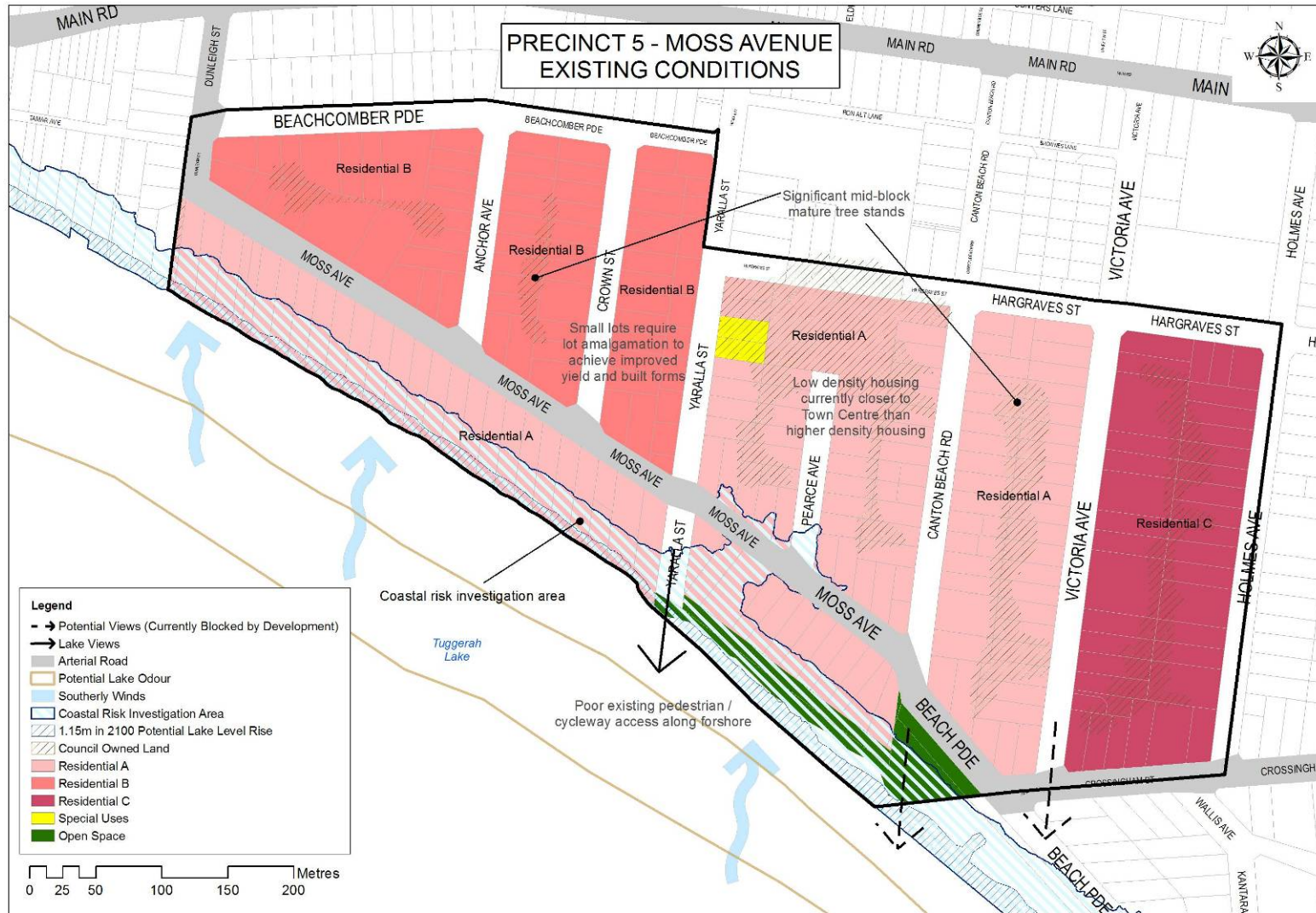


Photo 59: Peel Street looking west toward significant foreshore vegetation and Lake Budgewoi beyond



Map 9: Precinct 4 – Peel Street Strategy Map

5.7 Precinct 5 - Moss Avenue



Map 10: Precinct 5 – Moss Avenue Existing Conditions

Location and Character

Precinct 5 – Moss Avenue covers the area to the south of the Town Centre between Dunleigh Street, Moss Avenue and Victoria Avenue. The Precinct includes the Senior Citizens Centre and, with a relatively flat profile, is within walking distance of the Town Centre.

The area to the west of Yaralla Street is currently zoned 2(b) Multiple Dwelling Residential and the area between Yaralla Street and Victoria Avenue is zoned 2(a) Residential. There are a number of single storey villa type developments and dual occupancy sites spread through the Precinct.

Existing vegetation in the Precinct is important to the character of the locality and needs to be protected by future developments. This includes stands of trees in the mid-block areas between Yaralla Street and Victoria Avenue.

Moss Avenue is similar to the Peel Street Precinct in terms of its potential to play an important part in supporting the Town Centre's revitalisation, by increasing residential densities in the catchment. The Precinct also has significant potential to increase the stock of adaptable housing in the locality. However, it is recognised that it would be detrimental to the existing and future character of the area to facilitate three to four storey residential housing forms through out the entire Precinct. The Strategy therefore proposes to locate this form of housing to the south of the Town Centre between Yaralla Street and Holmes Avenue. The 2(b) Multiple Dwelling Residential Zone will be retained between Dunleigh Street and Yaralla Street to facilitate lower scale villa and townhouse residential housing forms. The opportunities for the Strategy in this Precinct are to:

- Increase residential accommodation close to the Town Centre to support the revitalisation of the centre, including units with lifts.

- Retain certain existing areas for low scale medium density housing.
- Require a range of housing types, particularly adaptable housing in the Precinct.
- Minimise disturbance to existing vegetation stands (including significant groups of trees in the mid-block areas) and retain views over the Precinct towards Tuggerah Lake from the edge of the Town Centre, particularly from Canton Beach Road and Victoria Avenue.
- Identify opportunities for civic improvements, and for improved physical and visual connections between Canton Beach and the Town Centre.



Photo 60: Looking south along Victoria Avenue toward Canton Beach foreshore

Vision

Moss Avenue will support the revitalisation of the Town Centre, accommodating a variety of medium density housing types, including adaptable housing and units served by lifts suitable for seniors and those with limited mobility.

New buildings on consolidated sites will be up to three or four storeys in height provided they show best practice design, good landscaping and solar access. Building heights reflect the transition from the general residential area to the Town Centre. Maximum heights will be reliant on lot amalgamation and positive townscape improvements.

Objectives

- Increase residential densities close to the Town Centre and encourage a range of medium density dwelling types, including adaptable housing
- Ensure that the built form maintains views to Tuggerah Lake from public areas through controls on building form and siting
- Identify opportunities for civic improvements and improve visual and physical connections between the Town Centre, the Precinct and Canton Beach
- Protect visually and/or culturally significant mid-block vegetation



Photo 61: Aerial view of Moss Avenue Precinct foreshore looking north toward Toukley Town Centre

Strategy and Recommendations

Planning Recommendations

The detailed development controls to support the Strategy for Precinct 5 will allow development up to four storeys in height between Yaralla Street and Holmes Avenue, but should be based on the NSW Residential Flat Design Code. This includes the performance criteria for setbacks, amenity, overshadowing, privacy, solar access and landscaping. Maximum FSRs of between 0.9:1 and 1:1 are recommended, however the higher FSR will be framed as an incentive to achieve adaptable housing and/or affordable housing objectives.

Lot amalgamations, increased setbacks and good landscaping in setback areas will be required to achieve the maximum development potential. As a guide, development above two storeys will require a minimum lot frontage of 24 metres, which in most instances will necessitate lot amalgamation. This will provide adequate site area for setbacks, deep root landscaping and vehicle access. Avoided will be tall narrow gun-barrel type building forms.

Development controls for the area between Dunleigh and Yaralla Streets will include a height limit of two storeys and FSR control of 0.6:1. Lot amalgamation or minimum lot width/size incentives will be investigated to encourage reduced driveway and turning areas, and increased landscaping opportunities within this form of development, and to avoid gun-barrel development forms.

Proposed zones, height and FSR controls will be implemented through LEP amendments and include LEP map layers for each. Under the Standard Instrument it is anticipated that the equivalent zones will be R3 - Medium Density Residential and R3 - General Residential, respectively.

View corridors towards Tuggerah Lake from the public domain should be confirmed and supported by controls that ensure future buildings do not obstruct views. This includes views across the Precinct from Victoria Avenue and Holmes Avenue.

Controls on building footprints, site coverage and setbacks are recommended to ensure that future developments are designed and located on their blocks to allow mature trees to be retained, especially where they occur in groups.

While no change to land use zones is recommended by the Strategy within coastal risk investigation areas this is on a **provisional basis only** and will be **deferred**, subject to the verification of 'identified coastal risk areas' by the Tuggerah Lakes Floodplain Risk Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objectives and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP

Explore appropriate zoning under the Standard Instrument for Council owned properties at Nos 9, 11, 13 and 15 Yaralla Street to accommodate additional carparking and compatible land uses. Under the Wyong LEP 1991, a Special Use – Parking zone is recommended. The proposed Town Centre Masterplan will consider this in further detail.



Photo 62: Example of three storey housing, Port Stephens

Rezone the land upon which Toukley Senior Citizens Club is located to reflect the existing and likely future use of the site. A Special Use – Senior Citizens Centre zoning is recommended.

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements. The structure plan should examine the potential need for and role of pocket parks given the anticipated increased residential densities within this Precinct. Funding for any necessary land acquisition will need to be considered as part of the preparation of Section 94 Contribution Plans, in conjunction with the relevant draft LEP.

Streetscape Improvement

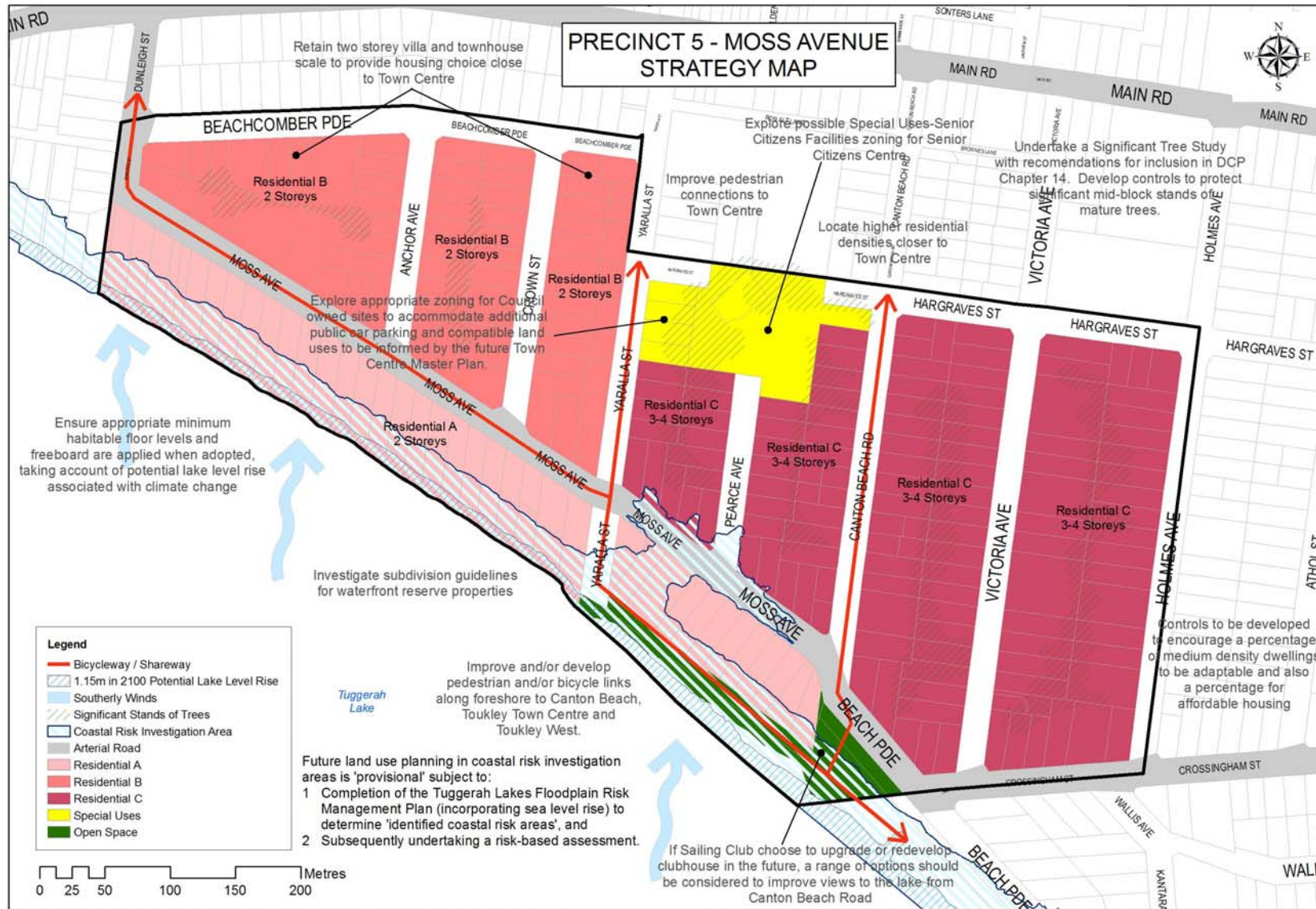
Update Council's capital works program to undertake street tree planting and pedestrian improvements to formalise the connection between the Town Centre and Canton Beach in accordance with the recommendations of the 1996 Urban Design Study.

Consideration should be given to utilising the carriageways of particularly wide streets for additional street tree planting, and/or parking.

If the Sailing Club chooses to upgrade or redevelop the club house in the future, a range of options should be considered to improve views to the lake from Canton Beach Road. This may involve relocation, but would need to be initiated by the Club and undertaken in consultation with the Crown and Council for the wider benefit of the members and community.

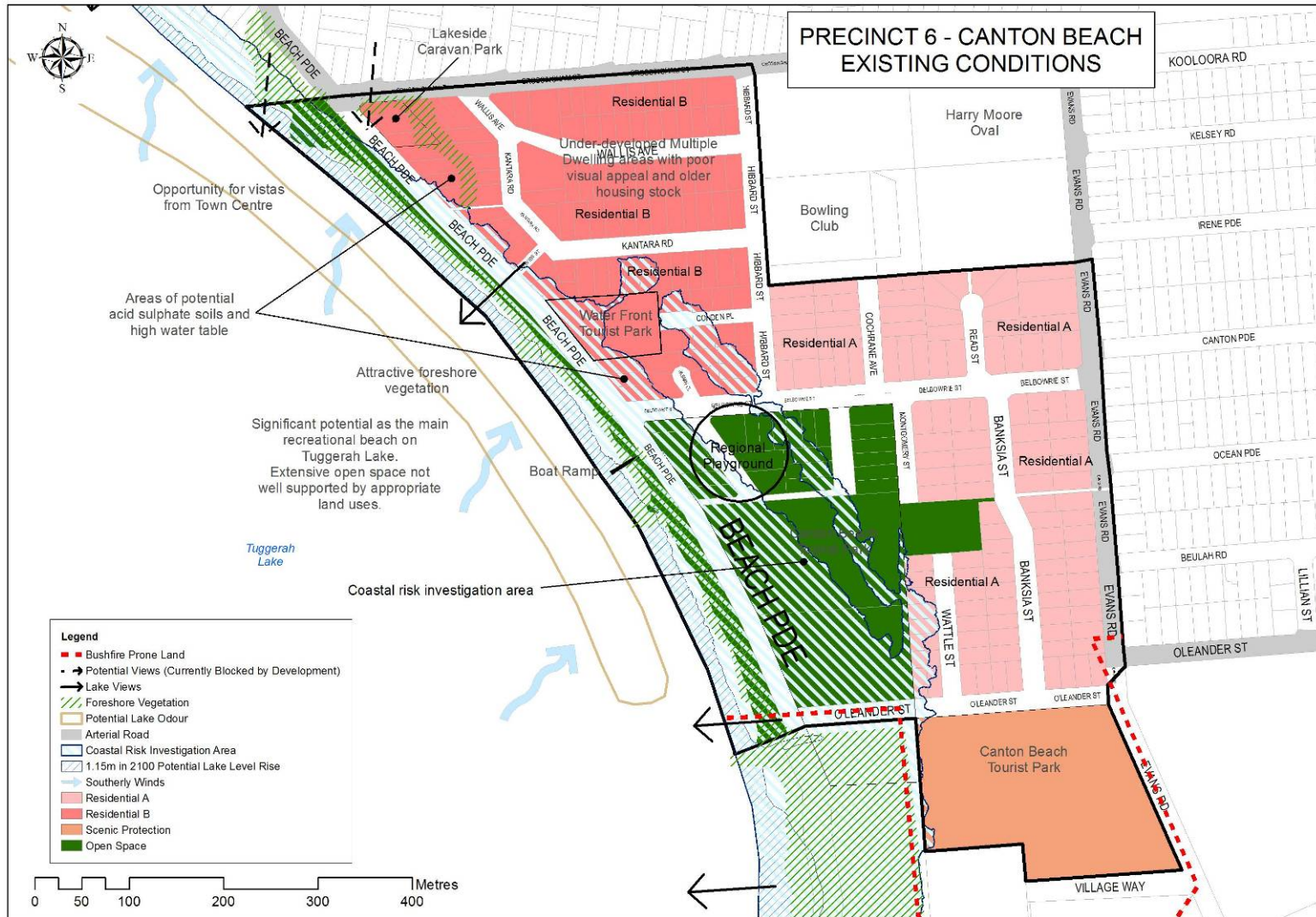
Significant Trees

Undertake a Significant Tree Study examining foreshore and mid-block vegetation with any recommendation for inclusion into DCP 2005 Chapter 14 – Tree Management. The location of existing mature trees, including stands in the mid-block areas (on private land) should be confirmed.



Map 11: Precinct 5 – Moss Avenue Strategy Map

5.8 Precinct 6 - Canton Beach



Map 12: Precinct 6 – Canton Beach Existing Conditions

Location and Character

Precinct 6 – Canton Beach is located south of the Toukley Town Centre, south of Crossingham Street and west of Evans Road. It is relatively flat with a south westerly frontage onto Tuggerah Lake, affording extensive views of the lake across to the hinterland beyond.

Canton Beach has significant potential as the main recreational beach on Tuggerah Lake. The extensive open space areas along the foreshore are an important community resource, but are not supported by land uses, other than the small group of shops on Beach Parade. Opportunities exist to improve the tourist infrastructure. This could include different accommodation types, tourist related activities, food outlets, boat hire or other recreational services.

The Precinct is well located to supplement the residential tourist accommodation of the Peninsula. The regional playground funded by Council and the Commonwealth, is centrally located along the foreshore adjacent to Belbowrie Street and acts as a significant recreation and tourist attractor. It is important that the Precinct provide the opportunity for other tourist and recreation activities and accommodation to build upon this, in order to facilitate other activities and reasons for visitors to stay.

Despite the existing 2(b) Multiple Dwelling Residential zone along Beach Parade, very little redevelopment has occurred in the area between Hibbard Street and Beach Parade. Much of the existing housing stock in the locality is old and in fair to poor visual condition and, therefore, fails to complement the public domain and beautiful lake outlook.

The existing caravan parks at the southern end of the Precinct contribute to the area's low cost housing stocks and holiday accommodation, although much of this is located further south within Precinct 13 – South Canton. As this Precinct develops along a tourism path, it is anticipated that some of the existing low cost accommodation will be replaced with tourist land uses. It is important that the Strategy explore options for new affordable housing through Wyong's Housing Choice Policy.

Along the foreshore reserve, and within the properties fronting Beach Parade, is a highly visible tree canopy varying between 11 and 14 metres in height. Development projecting too far above the tree canopy at Canton Beach has significant potential to take away from the attractive landscape character of the Precinct. Controls are therefore proposed to support the new zone and height restricting.

Canton Beach would benefit from stronger visual and physical links to other Precincts, particularly the Toukley Town Centre.



Photo 63: Beach Parade, Canton Beach

Vision

Canton Beach is to develop as a lakeside tourism Precinct with cafes, restaurants and active tourist facilities along Beach Parade in the north. The regional playground will form a centrepiece linking with the more relaxed tourist areas such as the Canton Beach Tourist Park accommodation located to the south. Design controls will place emphasis on the need to retain the area's strong green quality and spacious feel.

In the northern area, changes will see a new Residential Tourist zone along Beach Parade with a maximum height of four storeys, and an increase in the development potential of Wallace Avenue/Kantara Road to allow buildings between three and five storeys. The maximum building heights are subject to satisfying design controls.

The Canton Beach Tourist Park will continue to focus more toward the tourist market, with programmed improvements to the park aimed at increasing tourist activity.

Objectives

- Establish a Residential Tourist zone in the area south of Crossingham Street, between Beach Parade, Kantara Road, Wallis Avenue and Belbowrie Street with a height limit of four storeys.
- Rezone the existing 2(a) Residential and 2(b) Multiple Dwelling Residential areas, to the east of the proposed Residential Tourist Zone, to 2(b) Multiple Dwelling Residential and 2(c) Medium Density Residential respectively, to support the new tourism Precinct and increase the range of dwelling types in the area.
- Recognise the role of the Canton Beach Tourist Park at the southern end of Canton Beach for casual tourist accommodation.

- Develop an appropriate contributions strategy to enable civic improvements along the foreshore.
- Ensure future development observes the principles of Sustainability.
- Address climate change impacts by incorporating appropriate planning solutions that address the latest climate change information and guidelines as these emerge.
- Provide further guidance for the development of the Precinct through the preparation of a Precinct master plan.
- Recognise the potential for possible future redevelopment of the Bowling Club site with uses that complement the residential and tourism focus. The height of future development should provide a transition between the residential area and adjoining public open space.



Photo 64: Aerial view of Canton Beach foreshore

Strategy and Recommendations

Planning Recommendations

New 2(g) Residential Tourist zone in the area between Beach Parade and Kantara Road with a height limit of four storeys to ensure that new buildings “sit in the trees” rather than imposing themselves on the landscape. Achieving maximum height will be dependent on satisfying amenity, open space and urban design criteria to be developed with the proposed DCP Chapter for Toukley Peninsula.

The controls should encourage active uses at ground level (cafes, restaurants, take away food) and discourage extensive parking in the setback area along Beach Parade. Excavation for basement parking is possible, subject to resolution of water table, ASS and projected lake level rise flooding issues, and the provision of management options for the possibility of inundation as determined through the new TL FPRM Plan.

Rezone the residential Precinct on the eastern side of Kantara Road to 2(c) Medium Density Residential zone to support the new tourism Precinct and increase the range of dwelling types in the area. Recommended height is three storeys with potential for additional levels (between four and five storeys in total depending on location) provided upper levels are setback and amenity, open space and urban design criteria are satisfied. A base FSR of 0.9:1 for three storey development is recommended. If recommended, however, the higher FSR will be framed as an incentive to achieve affordable housing objectives.

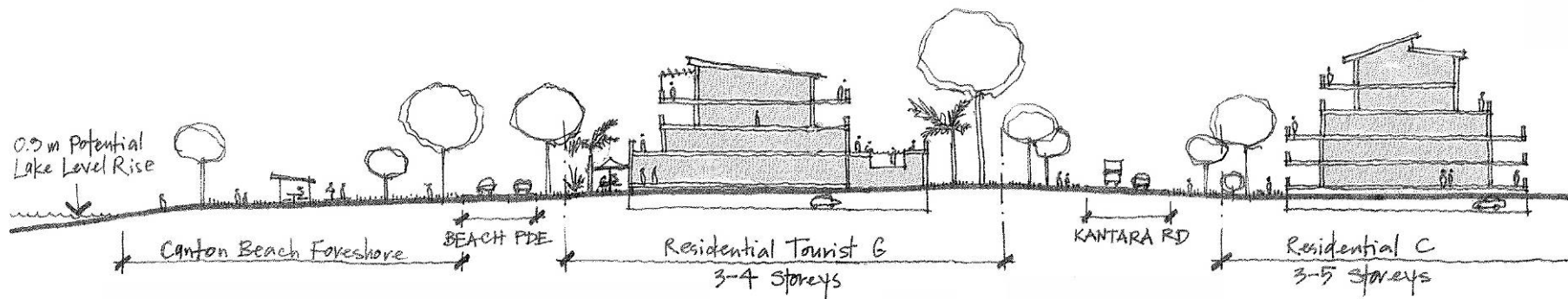


Figure 17: Indicative Section through Precinct 6 – Canton Beach

Small areas of the locality identify as being affected by flood inundation by 2050 or 2100 under a 1 in 100 year flood scenario due to projected climate change impacts. While potential new recommended land uses within these localities are identified such as the 2(g) Residential Tourist and 2(c) Medium Density Residential zone, this is on a provisional basis only. Any subsequent change in zoning for areas identified at risk will be deferred pending firstly the completion of the Tuggerah Lakes Floodplain Risk Management Plan (incorporating sea level rise projections), which will verify the identified coastal risk areas and secondly, a comprehensive risk-based assessment process. If the risk is determined to be manageable, new development will need to be located and designed with appropriate and relevant mitigating and adaptive measures against the anticipated impacts of climate change for the asset period deemed appropriate for the particular development. If it is demonstrated through the risk assessment process that the proposed land use is not sustainable for its defined asset period then, based on the precautionary principle, it should not be up-zoned and an alternative land use and/or planning control measures will need to be considered.



Photo 65: Tourist precinct on NSW Coast sharing active street front uses with accommodation above



Photo 66: Canton Beach foreshore

The performance criteria of the NSW Residential Flat Design Code (setbacks, amenity, overshadowing, privacy, solar access and landscaping) should be applied to future residential development in the Precinct. The maximum development potential of sites will be dependent on lot amalgamations, ensuring protection of existing mature trees and provision of adequate landscaping. Any levels above the third storey should be setback to retain a lower scale to the streets.

Given the extent of change envisaged, developer contributions are needed to assist civic improvements to the foreshore open space. This could be achieved by a levy or a developer agreement in the environmental planning instrument that will be made for the locality. The developer contributions strategy should form part of the detailed controls for the Precinct.



Photo 67: Regional playground, Canton Beach

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements. The structure plan should examine the potential need for and role of pocket parks in the proposed 2(c) Medium Density Residential areas given the anticipated increased residential densities. Funding for any necessary land acquisition will need to be considered as part of the preparation of Section 94 Contribution Plans prepared in conjunction with the relevant draft LEP.

Implement the recommendations of the Foreshore Recreation Strategy in accordance with the EMP.

Significant Trees

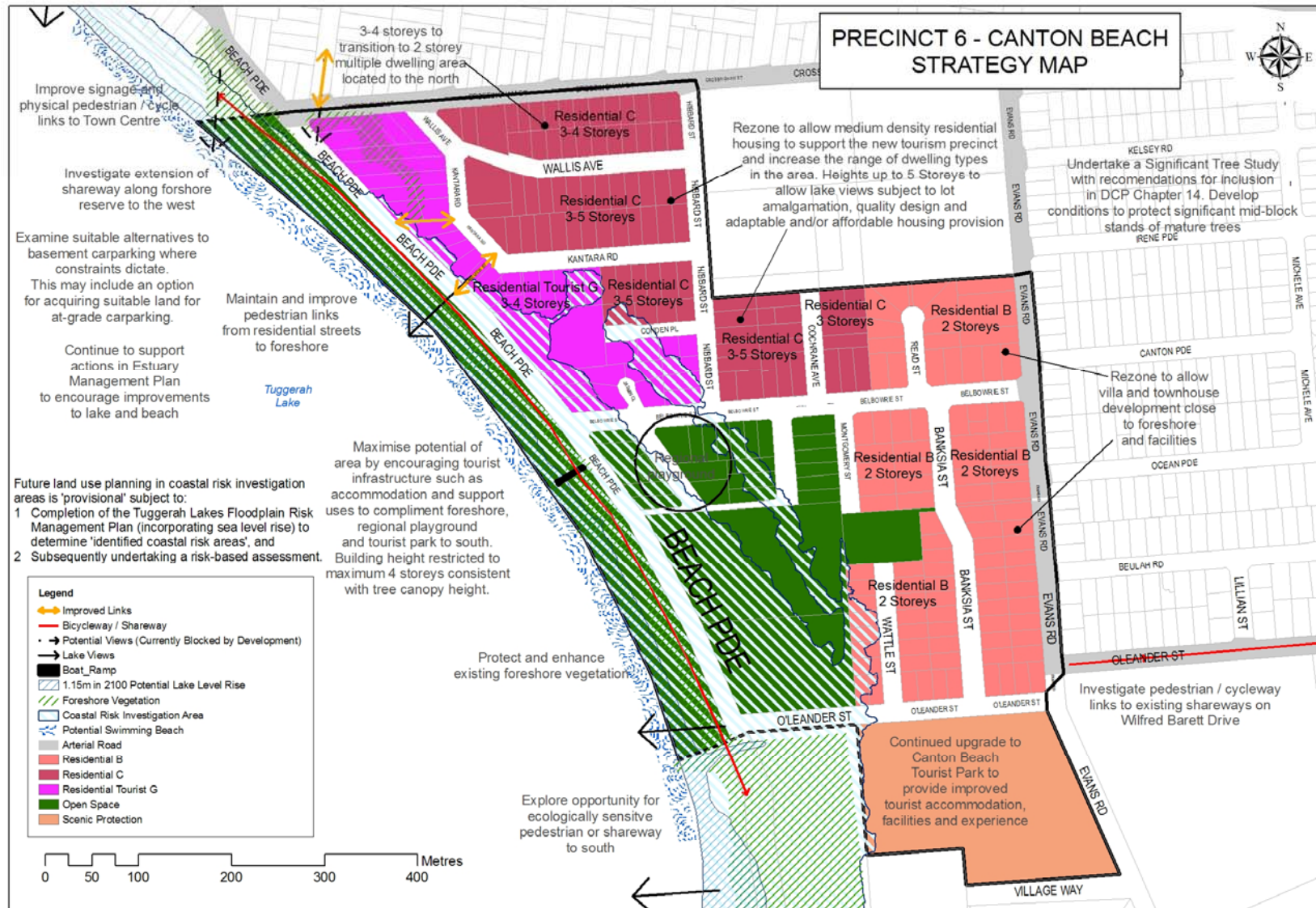
Undertake a Significant Tree Study examining foreshore and mid-block vegetation with any recommendation for inclusion into DCP 2005 Chapter 14 – Tree Management.

Carparking

Medium rise residential and tourist accommodation will place increased demand for on-site carparking. This is generally accommodated through basement carparking, however in Canton Beach constraints such as the water table, potential ASS and the projected impacts of flooding under climate change lake level rise mean alternatives need to be considered. Furthermore, the cost of basement carparking can warrant consideration of suitable alternatives.

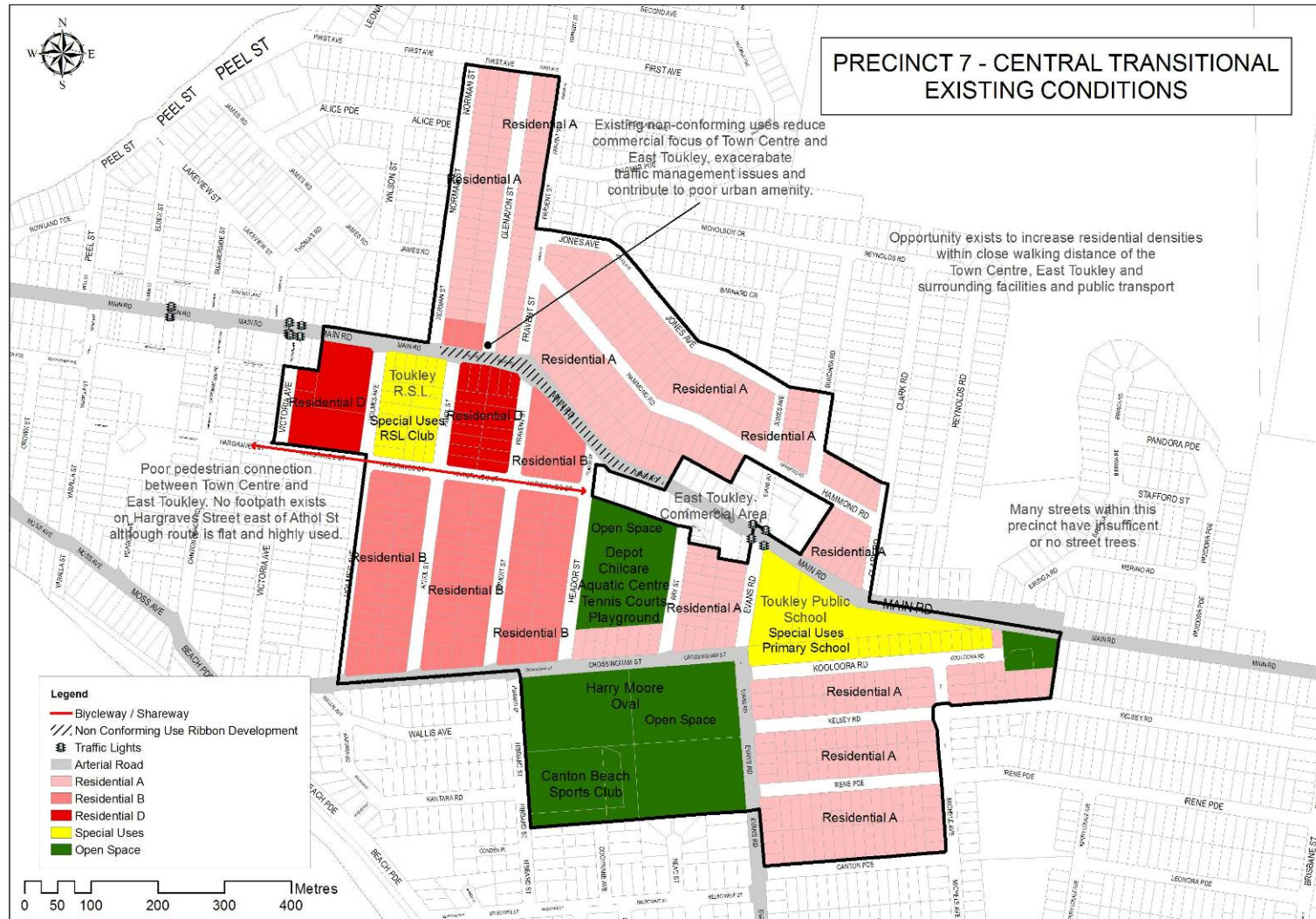
A range of options have been identified that require further investigation through the development of a DCP Chapter for Toukley Peninsula. These include:

- Partially excavated parking, if suitably treated
- Minimum driveway entry levels in light of projected lake level rise
- Parking at ground subject to 'sleeving' behind activated building facades
- Parking at ground level using fully integrated attached carport structures related to dwellings
- Identifying suitable land within the Precinct, and the likely extent required, for acquisition to partially accommodate projected carparking demand generated by private development. This option will require detailed costing and an amendment of the local Section 94 Contribution Plan



Map 13: Precinct 6 – Canton Beach Strategy Map

5.9 Precinct 7 - Central



Map 14: Precinct7 – Central Transitional Existing Conditions

Location and Existing Character

Precinct 7 – Central is a transitional area from the higher residential densities and Town Centre to the west to the lower density residential areas to the north, east and south. The area is bisected by Main Road and surrounds but does not include the East Toukley business centre. South of Main Road, Precinct 7 is bounded in the west by Victoria Avenue, Holmes Avenue and Hibbard Street while to the north of Main Road the western boundary is formed by Norman Street. The Precinct extends east to Clark Road and Michele Avenue and includes the Toukley Public School. The southern boundary is formed by Canton Parade, and part of Crossingham Street and includes Harry Moore Oval and the Canton Beach Sports Club (formerly the Bowling Club).

The area includes the high point of the Peninsula near the Toukley RSL and adjacent seniors living area and falls gradually away from this area in all directions, but more noticeably, to the south where views to Tuggerah Lake exist. Much of the area is characterised by low scale detached housing varying in age and condition. Many of the streets are wide with little street tree planting, and a number do not have paved footpaths. Of particular note is the heavily pedestrianised connection between East Toukley and the Town Centre along Hargraves Street, which despite being relatively flat, currently has no paved footpath.

Despite the 2(d) High Density Residential zoning the two street blocks to the west and east of the Toukley RSL have not realised development potential. This zoning was historically set in place as an incentive for non-conforming commercial use ribbon development to redevelop in order to improve the visual amenity of the road, reinforce the existing commercial centres of Toukley and East Toukley and to reduce the traffic access onto Main Road. These objectives remain relevant to this Strategy.

There are a number of significant land uses within this Precinct including the Toukley RSL and the Canton Beach Sports Club. Each has the potential to redevelop, therefore it is important that the Strategy recognise these uses and facilitate appropriate redevelopment opportunities.

Other key facilities within Precinct 7 include Harry Moore Oval, Toukley Public School and the Ray/Heador Street open space area, which has a pool, tennis courts, childcare, neighbourhood centre, two playgrounds and a skate park and is a major focal point for the residents and visitors to use the facilities, especially the child care, pool and tennis courts. The skatepark and aquatic centre are major youth attractors and near to shops. The skatepark is unfinished but is scheduled to be completed as per the design. The potential exists to improve the connection between the East Toukley shops and the open space area providing integration, which could benefit both areas. If the Council depot was relocated from the open space area this could remove the 'back of house' problem and provide an opportunity to generate more activity.

To the west of Ray/Heador Street the residential areas are currently zoned 2(b) Multiple Dwelling Residential zone to facilitate villa and townhouse residential building forms. However, the residential areas to the north of Main Road, those to the south and east of the Ray/Heador Street open space area and the area from Kooloora Road to Canton Parade, are within ready walking distance of the East Toukley shops, transport and facilities. These areas are well located to allow for additional dwelling and population growth through low scale multiple dwelling building forms.



Photo 68: Canton Beach Sports Club

Vision

The Central Precinct will develop as a well located and connected residential area, accommodating population growth through low scale medium density housing forms such as villas and townhouses. Existing community and recreation facilities will continue to improve and be better integrated with the East Toukley shops and public transport. Ribbon commercial uses outside of the business zones will be redeveloped with well designed, modern, medium density housing.

The streetscape will be enhanced through street tree planting, while footpaths will be improved along key pedestrian movement corridors including between East Toukley and the Town Centre and to the Canton Beach foreshore.

Contributing to the recreation and social needs of the locality, the Ray/Hedor Street open space area will be better integrated with the East Toukley shops and redevelopment of the existing clubs will positively contribute socially and aesthetically to the Precinct.

Objectives

- Increase residential densities close to East Toukley shops, adjacent facilities and transport and encourage a range of low scale multiple dwelling types, townhouses and villas.
- Discourage the continuation of existing non-conforming ribbon development along Main Road.
- Introduce a more appropriate 2(c) Medium Density Residential zone and height limit for the existing 2(d) High Density Residential zoned blocks located to the east and the west of the Toukley RSL.
- Facilitate appropriate redevelopment options for the Toukley RSL and the Canton Beach Sports Club (formerly the Bowling Club).
- Continue to enhance the facilities at the Ray/Hedor Street open space area and explore opportunities for better integration with the East Toukley Shops.
- Improve streetscape amenity through street tree planting and provide enhanced pedestrian connections to Canton Beach foreshore and the Town Centre through appropriate footpath provision.



Photo 69: Fravent Street looking south

Strategy and Recommendations

Planning Recommendations

Rezone the two existing 2(d) High Density Residential street blocks (one to the west, the other to the east of the Toukley RSL) to a more appropriate 2(c) Medium Density Residential zone including a three to four storey height limit. Rezone the area immediately north (fronting Hammond Road) and west of the East Toukley shops (fronting Main Road) from 2(a) Residential zone to 2(c) Medium Density Residential zone with recommended building heights of three storeys to provide transition to lower scale residential areas to the north. Maximum FSRs of between 0.9 and 1.1 are recommended for the 2(c) Medium Density Residential zone. However, the higher FSR will be framed as an incentive to achieve adaptable housing and/or affordable housing objectives.

Lot amalgamations, increased setbacks and good landscaping in setback areas will be required to achieve the maximum development potential. As a guide, development above two storeys will require a minimum lot frontage of 24 metres, which in most instances will necessitate lot amalgamation.

This will provide adequate site area for setbacks, deep root landscaping and vehicle access. Avoided will be tall narrow gun-barrel type building forms.

Rezone the existing 2(a) Residential zoned areas within this Precinct to 2(b) Multiple Dwelling Residential, with a two storey height limit. Controls for the 2(b) Multiple Dwelling Residential zone in addition to a height limit of two storeys, will include a FSR control of 0.6:1. Lot amalgamation or minimum lot width/size incentives will be investigated to encourage reduced driveway and turning areas, and increased landscaping opportunities within this form of development, and to avoid gun-barrel development forms.

Proposed zones, height and FSR controls will be implemented through LEP amendments and include LEP map layers for each. Under the Standard Instrument it is anticipated that the equivalent zones will be R3 - Medium Density Residential and R3 - General Residential, respectively.



Photo 70: Town Houses, NSW Coast

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements. The structure plan should examine the potential need for and role of pocket parks in the proposed 2 (c) Medium Density Residential areas given the anticipated increased residential densities. The Structure Plan should also examine ways of improving the relationship between facilities at the Ray/Heador Street open space area and the East Toukley commercial area. Funding for any necessary land acquisition will need to be considered as part of the preparation of Section 94 Contribution Plans, in conjunction with the relevant draft LEP.

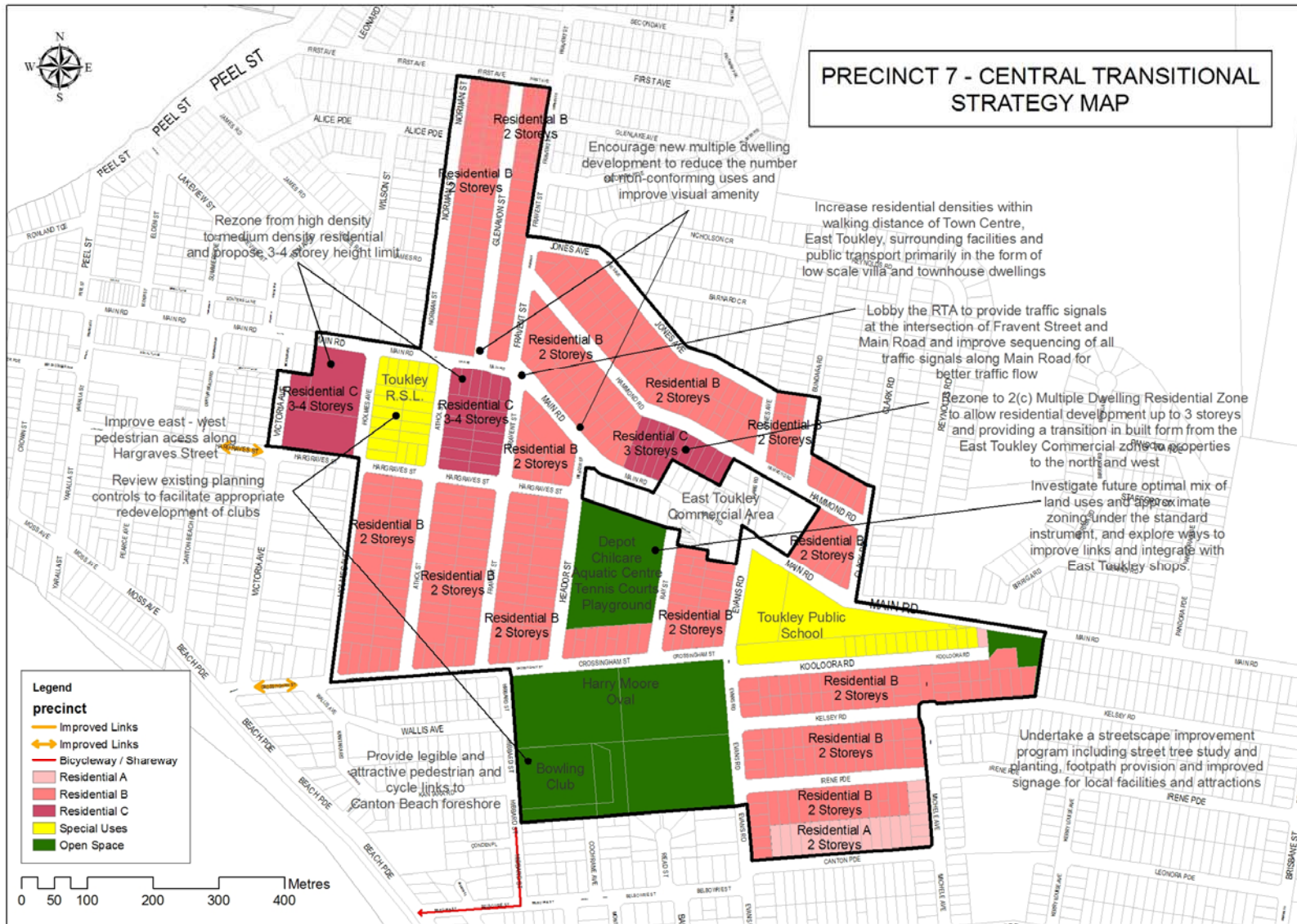


Photo 71: Tennis courts and Swim Centre at Ray/Heador Street open space area

Streetscape Improvement

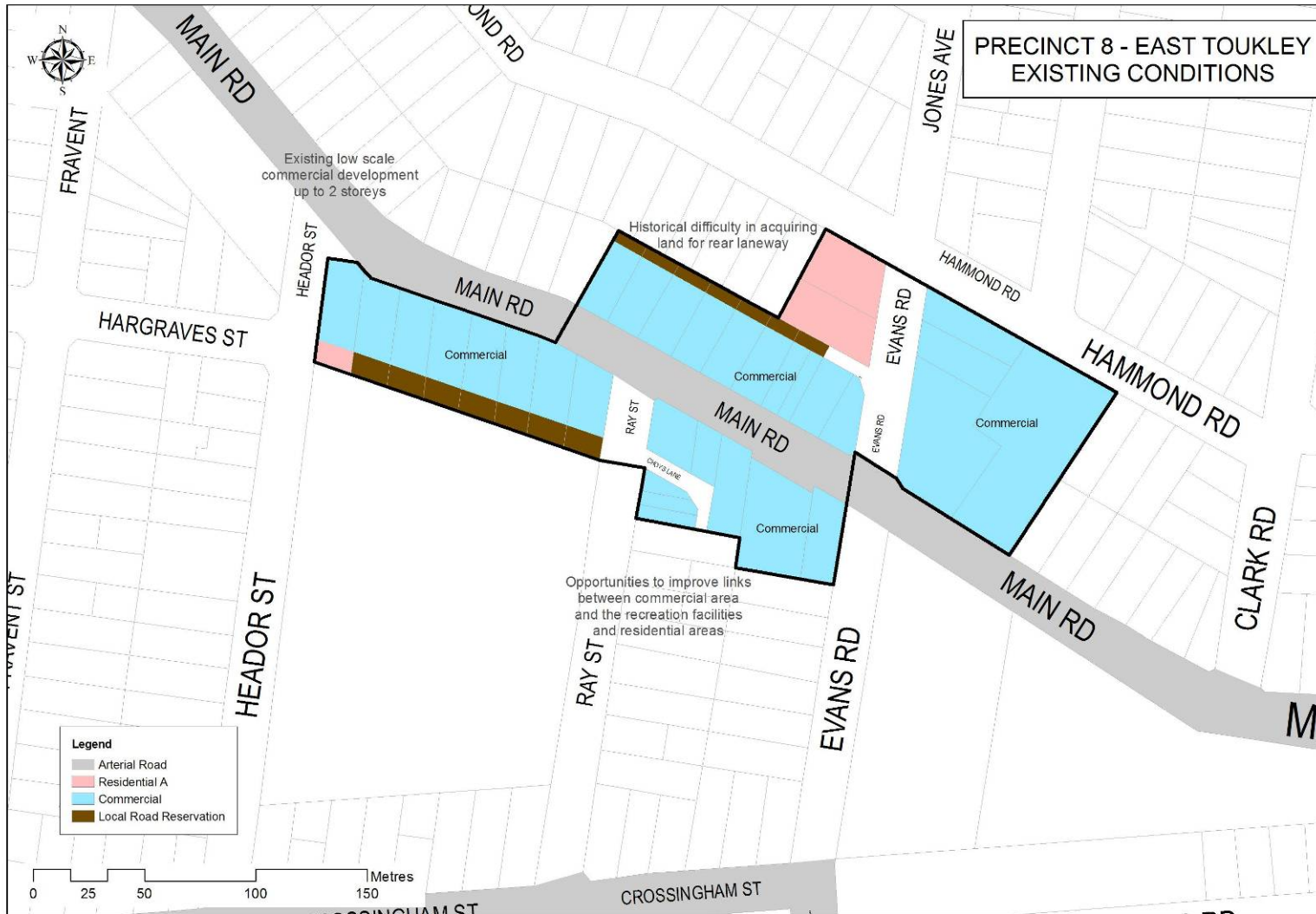
Update Council's capital works program to undertake street tree planting and pedestrian improvements to formalise the connections between the Precinct and the Town Centre and the Canton Beach foreshore.

Consideration could be given to utilising the carriageways of particularly wide streets for additional street tree planting, and/or parking.



Map 15: Precinct 7 – Central Transitional Strategy Map

5.10 Precinct 8 - East Toukley



Map 16: Precinct 8 – East Toukley Existing Conditions

Location and Character

Precinct 8 – East Toukley, which encompasses the East Toukley shops, has a vibrancy and village character that should be maintained and enhanced by retaining the lower scale village character while allowing shop-top housing. A three storey height limit is recommended, subject to controls that retain a two storey street wall.

The Strategy outlined in DCP 2005: Chapter 16 – Toukley East outlines a Strategy to secure rear lanes to service commercial properties.

The area would also benefit from improved links between the recreational facilities to the north and south of the area.

Vision

East Toukley will continue as a local shopping area with a vibrant feel. The centre's range of shops and services will be supported by controls that require active commercial and retail uses at ground level.

The centre is to retain a low scale. Buildings will be allowed up to a maximum height of three storeys, although the third level will be set back giving a two storey scale to the street. Residential uses will be limited to upper levels and access to properties will generally be via rear lanes.



Photo 72: East Toukley shops looking east

Objectives

- Maintain and enhance the role of East Toukley as a local centre with active commercial and retail uses at ground level
- Encourage a future built form that is lower scale and that differentiates East Toukley from other centres in the area. Encourage shop-top housing within the commercial area
- Facilitate mixed use residential and commercial developments up to three storeys in height but retaining a two storey height at the street frontage (third storey setback)
- Maintain best practice requirement for solar access to public areas especially on the southern side of Main Road
- Encourage low scale medium density residential development to the south of the East Toukley shops
- Secure rear lane access for commercial properties

Strategy and Recommendations

Planning Recommendations

The future controls for East Toukley will allow development up to three storeys in the commercial area along Main Road. Setback controls are recommended for the upper level (third storey) to maintain a two storey street wall. The controls should require active commercial and retail uses at ground level but allow residential units above.

The setbacks, amenity, overshadowing, privacy, solar access and landscaping standards of the NSW Residential Flat Design Code are recommended for residential development in the Precinct.

Continue with laneway acquisition strategy as outlined in DCP 2005: Chapter 16 Toukley East in order to service commercial properties.

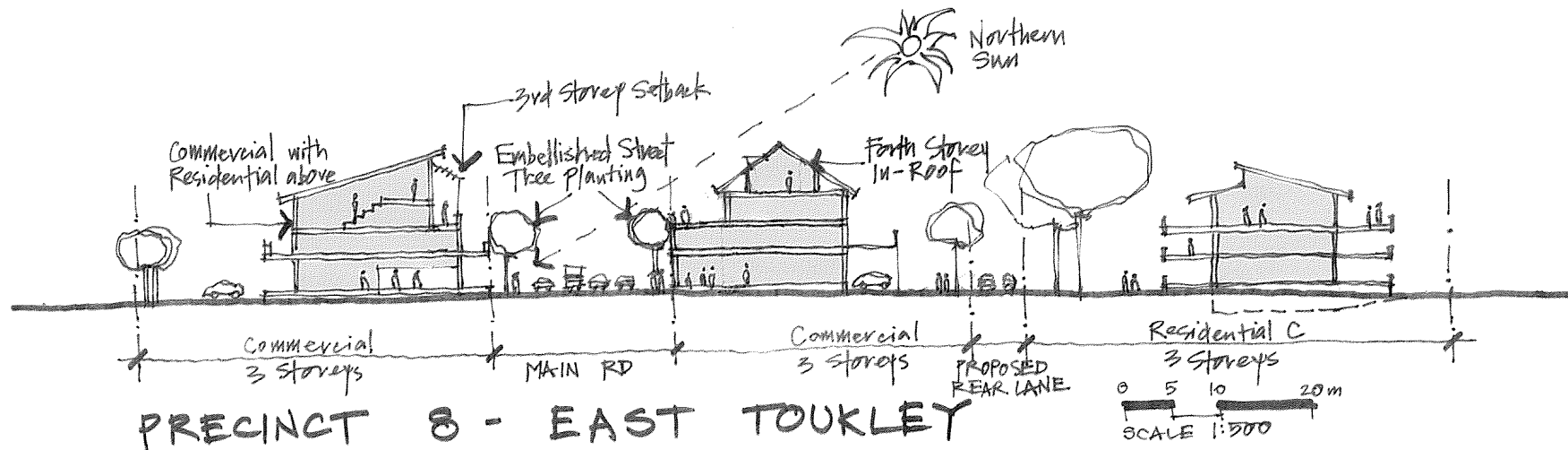
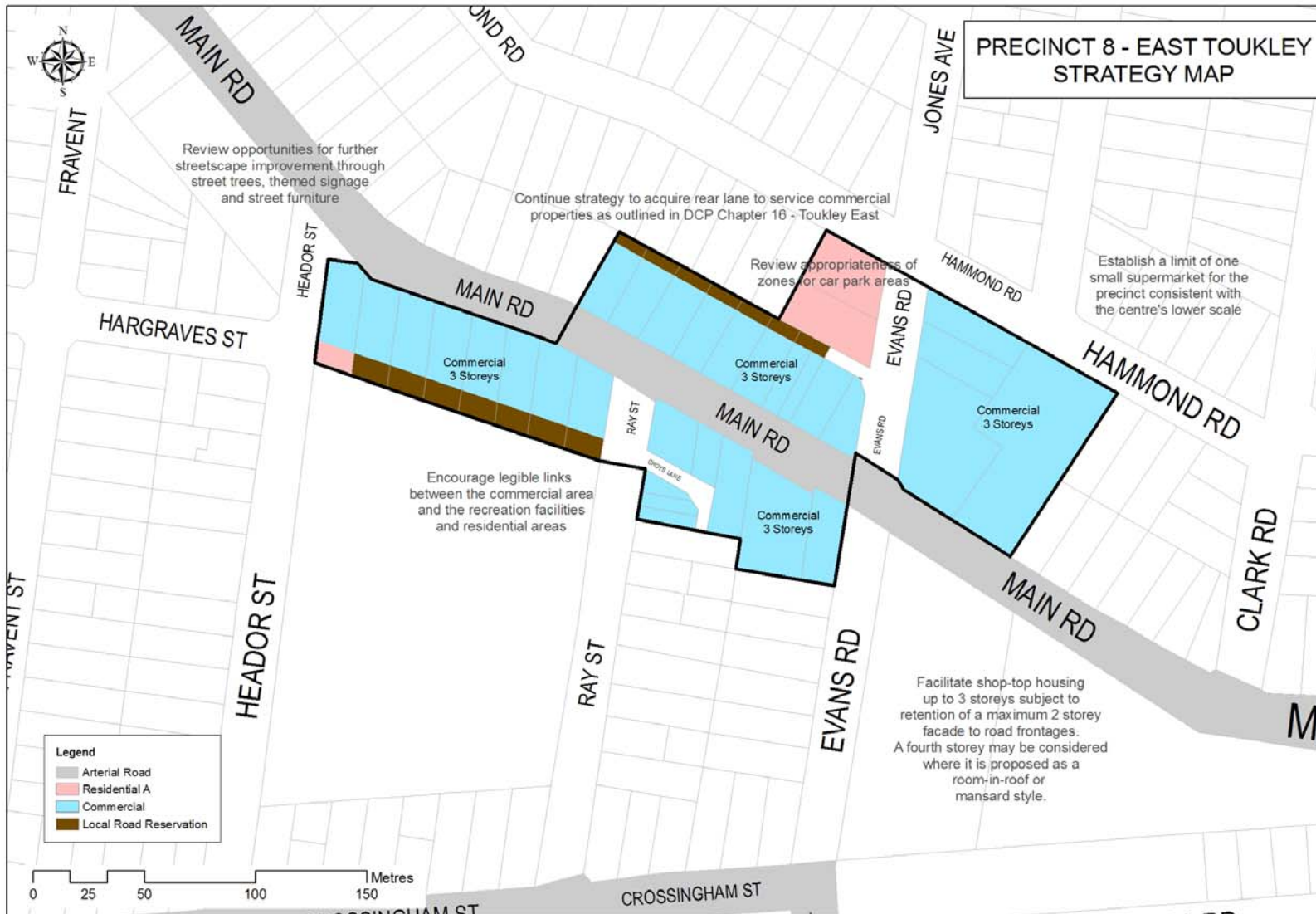
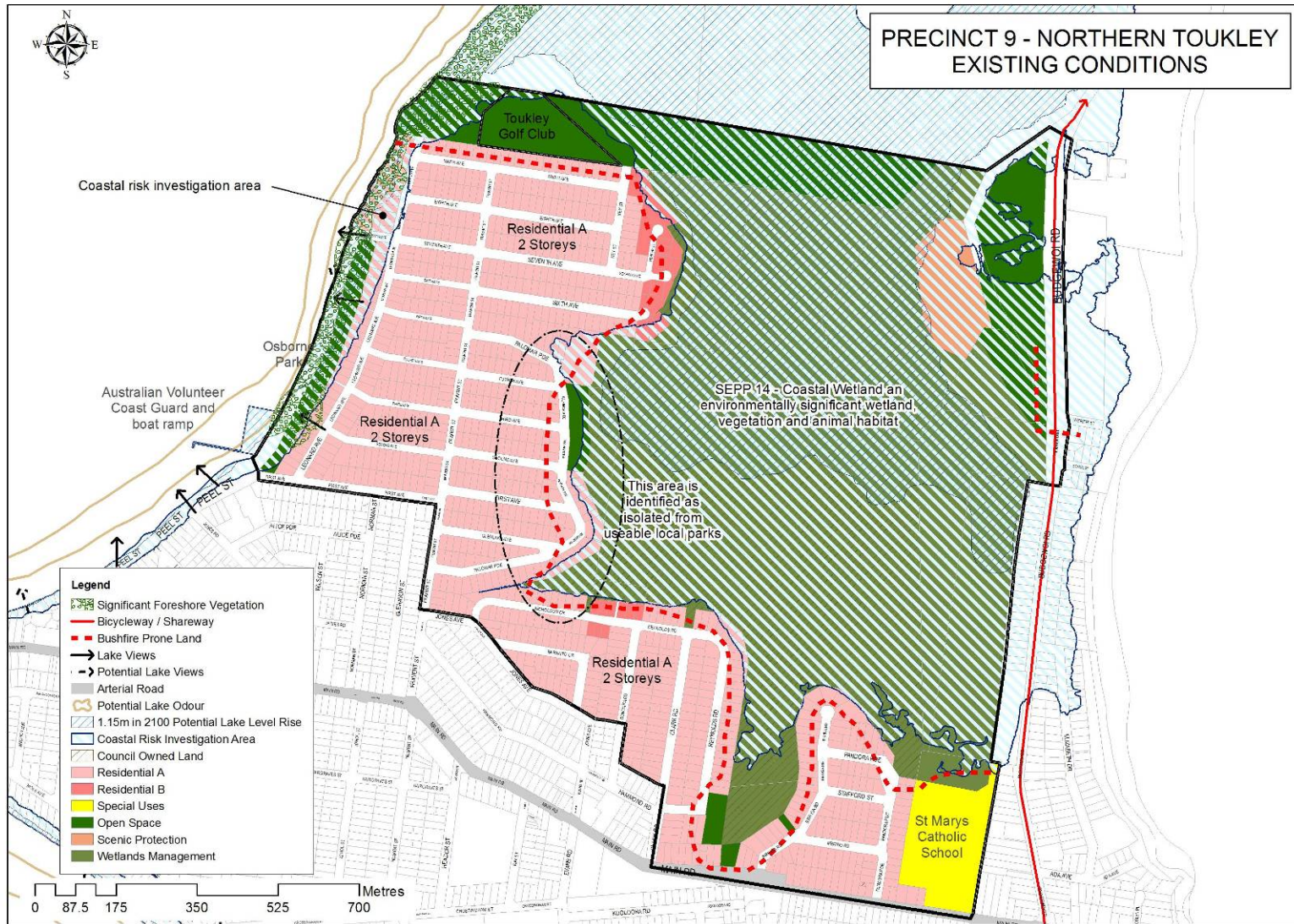


Figure 18: Indicative Section through Precinct 8 – East Toukley



Map 17: Precinct 8 – East Toukley Strategy Map

5.11 Precinct 9 - Northern Toukley



Map 18: Precinct 9 – Northern Toukley Existing Conditions

Precinct 9 – Northern Toukley, the area of the Avenues north from First Avenue and Jones Avenue is generally zoned 2(a) Residential and is typically low scale detached housing. This area is characterised by well established and well maintained homes. The dwelling stock is fairly consistent in age, scale and character and appears to be subject to few pressures for change. These factors combine to suggest this area would be unlikely to respond positively to any new redevelopment opportunities.

On the Western edge of this Precinct is Osborne Park, a foreshore reserve that fronts Lake Budgewoi with scenic views across to the hinterland to the northwest. Osborne Park contains visually significant foreshore vegetation. It is accessible from First Avenue and Seventh Avenue as well as a number of pedestrian walkways in between properties. Lake glimpses from Leonard Avenue between existing houses and vegetation underpin the scenic nature of this area.

At the southern end of Osborne Park is a well featured playground and nearby is the Australian Volunteer Coast Guard and associated boat ramp.

The Toukley Wetland is located to the north and east of the residential areas. It is a state significant wetland listed under SEPP No. 14 – Coastal Wetlands. This area forms a natural backdrop to the Precinct and provides natural habitat to a range of native wildlife and birds. The wetland also presents an existing fire hazard to the adjoining residential area. The balance for protection of both the Toukley Wetland and adjoining residential areas will need to be addressed by the Strategy.

The eastern edge of the “Avenues” is identified as isolated from useable local parks.

The Toukley Golf Club is located to the north of the residential area. The Golf Club facilities are a mix of modern and older building elements and, presently, the carparking area abuts residential properties to the south. Parts of the golf course have potential to be impacted by future lake level rise. The Strategy needs to facilitate accessible future redevelopment of the Golf Club while protecting the amenity of residences to the south, and accounting for potential climate change impacts as a result of lake level rise.

The Precinct shows significant scope for pedestrian and cycleway link improvements. Potential options exist along the Osborne Park foreshore reserve, across the top of the Precinct to the cycleway adjacent to Wilfred Barrett Drive, with other options in the interface between residential areas and the Toukley Wetland.



Photo 73: Residential area, Leonard Avenue looking north

Vision

The Northern Toukley Precinct will continue its role as a predominantly low scale residential area set between the scenery at Lake Budgewoi foreshore, Toukley Wetland and the Toukley Golf Course. Improvements to pedestrian and cycleway connections, open space facilities and streetscape will build upon the strengths of this Precinct.

Objectives

- Maintain low scale and low density residential character of the area
- Create/improve pedestrian and/or cycleway connections along and between foreshore and bushland interface
- Protect existing significant vegetation
- Provide improved access and signage to foreshore areas
- Enhance existing open space and recreation facilities
- Facilitate sensitive future redevelopment opportunities for Toukley Golf Club
- Plan for potential lake level rise and other climate change impacts
- Incorporate sustainability principles into future development
- Protect Toukley Wetland from development pressures and protect adjacent properties from bushfire hazard strategy and recommendations



Photo 74: Playground and foreshore vegetation, Osborne Park

Strategy and Recommendations

Planning Recommendations

Retain the existing residential zoning, predominantly 2(a) Residential to accommodate low density residential development up to two storeys, including detached dwellings and dual occupancy development. Equivalent zoning and the Standard Instrument of R2 - Low Density Residential is recommended.

Explore appropriate land use zone to accommodate future redevelopment options on Toukley Golf Club site, including a three storey maximum height limit.

While no change to land use zones is recommended by the Strategy within coastal risk investigation areas this is on a **provisional basis only** and will be **deferred**, subject to the verification of ‘identified coastal risk areas’ by the Tuggerah Lakes Floodplain Risk Management Plan. Following this, detailed locality risk-based analysis will be required in ‘identified coastal risk areas’ to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP’s Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP Chapter

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements.

Explore options for upgrading reserve opposite Palomar Parade to a local park with appropriate facilities. Maintain foreshore access from residential areas.

Implement the recommendations of the Foreshore Recreation Strategy in accordance with the Estuary Management.



Photo 75: Palomar Parade Reserve

Bicycle and Shareway Connection

Inform the draft Bicycle and Shared Pathway Strategy with the following recommendations:

- Provide an attractive shared pathway link from Peel Street north along the Osborne Park foreshore
- Provide an on/off road bicycle path to the Key Street entrance to the Toukley Golf Course connecting with Osborne Park

- Investigate on/off road shared pathway connecting the Toukley Golf Course with the existing bicycle path adjacent to Budgewoi Road
- Investigate the viability of a walking and/or cycleway running along the western edges of the Toukley Wetland as part of a local loop on land required as an APZ buffer

Streetscape Improvement

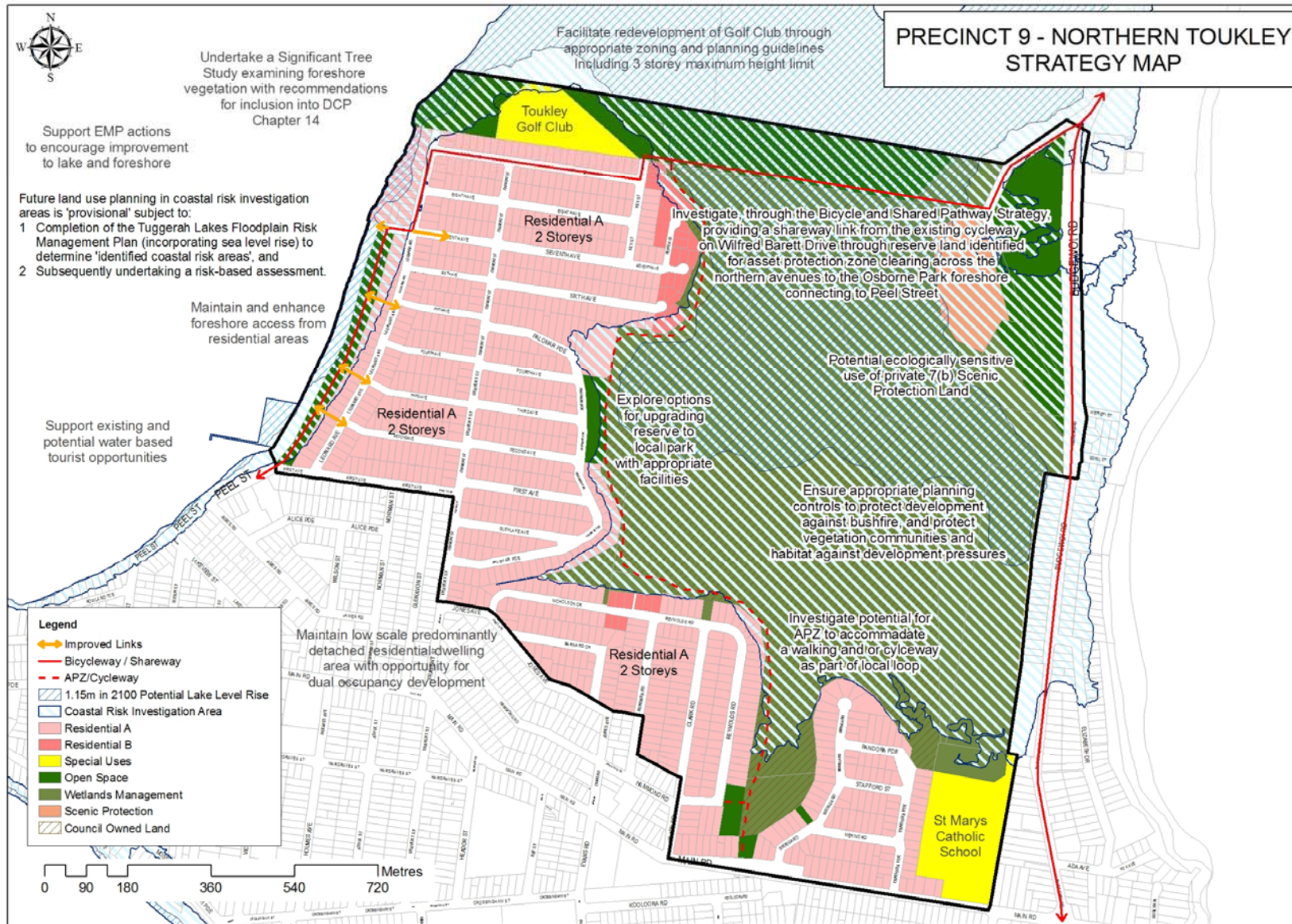
Upgrade Council's capital works program to undertake street tree planting and pedestrian improvements. Particular emphasis should be upon improving the amenity of Fravent Street especially the southern portion.

Significant Trees

Undertake a Significant Tree Study examining foreshore vegetation along Osborne Park with any recommendation for inclusion into DCP 2005 Chapter 14 – Tree Management.

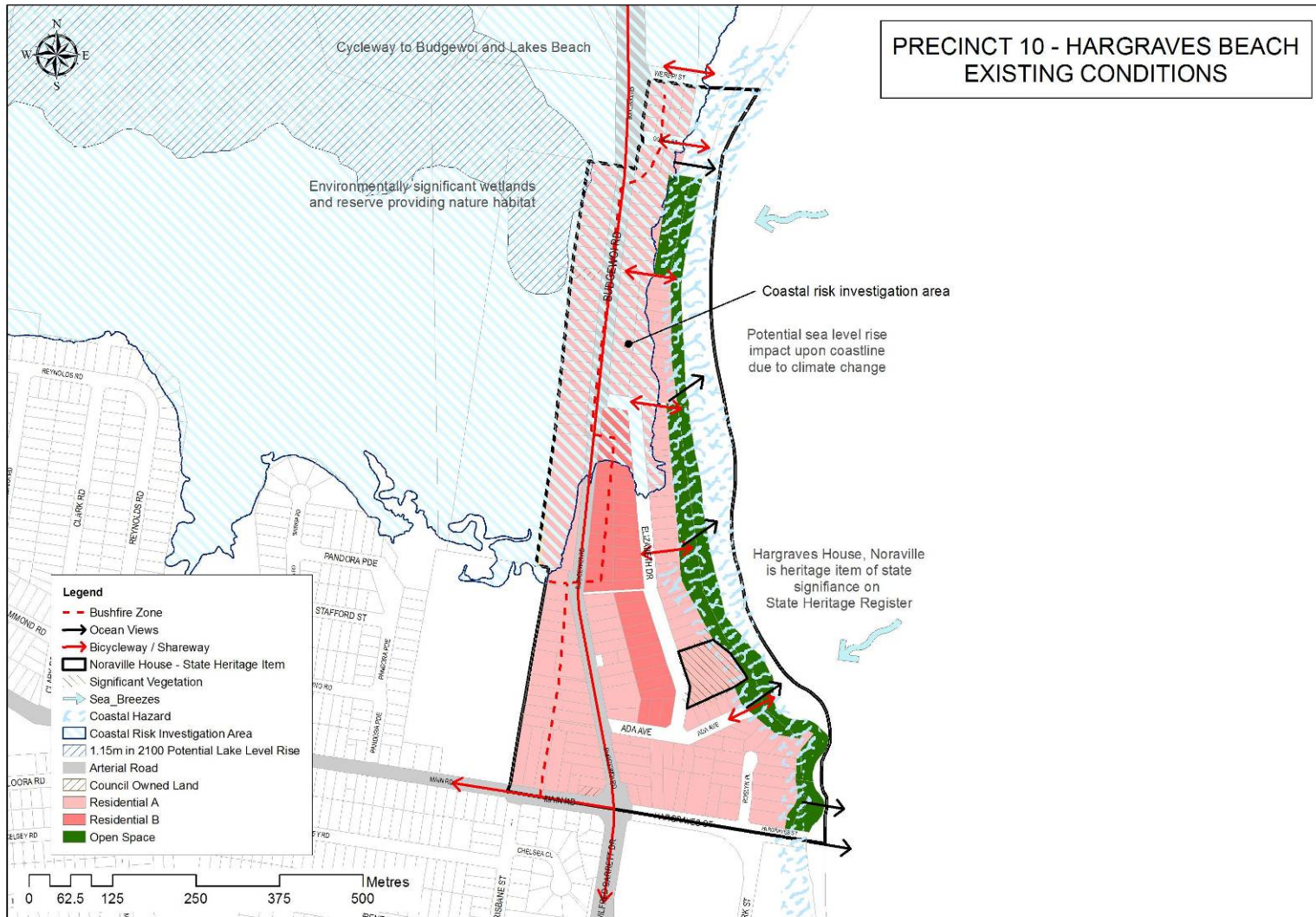


Photo 76: Foreshore vegetation fronting Lake Budgewoi



Map 19: Precinct 9 – Northern Toukley Strategy Map

5.12 Precinct 10 - Hargraves Beach



Map 20: Precinct 10 – Hargraves Beach Existing Conditions

Location and Character

Precinct 10 – Hargraves Beach forms the northern coastal part of Noraville expanding from Hargraves Street in the south to Werepi Street in the north. It is bounded by Toukley Wetland in the west and the Tasman Sea to the east. It contains particularly scenic beaches and coastline. The topography comprises coastal cliffs and headlands in the southern part of the coastline but transitions to gentle slopes towards the north and west.

The Hargraves Beach area includes some 2(b) Multiple Dwelling Residential lands between Elizabeth Drive and Budgewoi Road. The remainder of the area is zoned 2(a) Residential with predominantly detached dwellings, many with significant ocean views.

Budgewoi Drive, the main north-south road through the Precinct, includes a cycleway leading to Budgewoi and, immediately to the north, Lakes Beach and SLSC.

The Toukley Wetland to the west is a state significant SEPP No. 14 Coastal Wetland which contains EEC and provides natural habitat to a range of species, but also presents a potential bushfire hazard.

“Hargraves House”, a state significant heritage item on the State Heritage Register and under Wyong LEP 1991, is located at Elizabeth Drive.

Bed and breakfast type accommodation may be appropriate to this area and options to facilitate this development form will be considered, including a review of Council’s existing Bed and Breakfast Accommodation DCP Chapter.



Photo 77: Hargraves Beach

Vision

The Hargraves Beach area will continue to provide a range of low density and multiple dwelling residential land uses up to two storeys in a highly desirable coastal location.

New development will be designed and sited to maintain existing ocean views.

The state significant heritage item, “Hargraves House”, will be protected.

Bed and breakfast type accommodation will provide a niche tourist option for this Precinct.



Photo 78: Heritage Item of State Significance – Hargraves House, Noraville

Objectives

- Maintain one to two storey residential character of Precinct
- Maintain significant ocean and coastal views
- Ensure future development plans for coastal hazards and potential climate change impacts
- Provide more legible access including signage to public coastal areas, including links to the coastal reserves located to the south at North Toukley
- Protect wetland from development impacts and protect adjacent properties from bushfire hazard
- Conserve Hargraves House as a heritage item of state significance

Strategy and Recommendations

Planning Recommendations

Retain the existing residential zoning predominantly 2(a) Residential and 2(b) Multiple Dwelling Residential to accommodate low scale residential development up to two storeys including detached dwellings, dual occupancy, villa units and town houses. Equivalent zoning under the Standard Instrument of R2 - Low Density Residential for 2(a) and R1 - General Residential for 2(b) is recommended.

While no change to land use zones is recommended by the Strategy within coastal risk investigation areas this is on a **provisional basis only** and will be **deferred**, subject to the verification of 'identified coastal risk areas' by the Tuggerah Lakes Floodplain Risk Management Plan and or Coastline Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP Chapter



Photo 79: Housing, Elizabeth Drive

Parks and Reserves

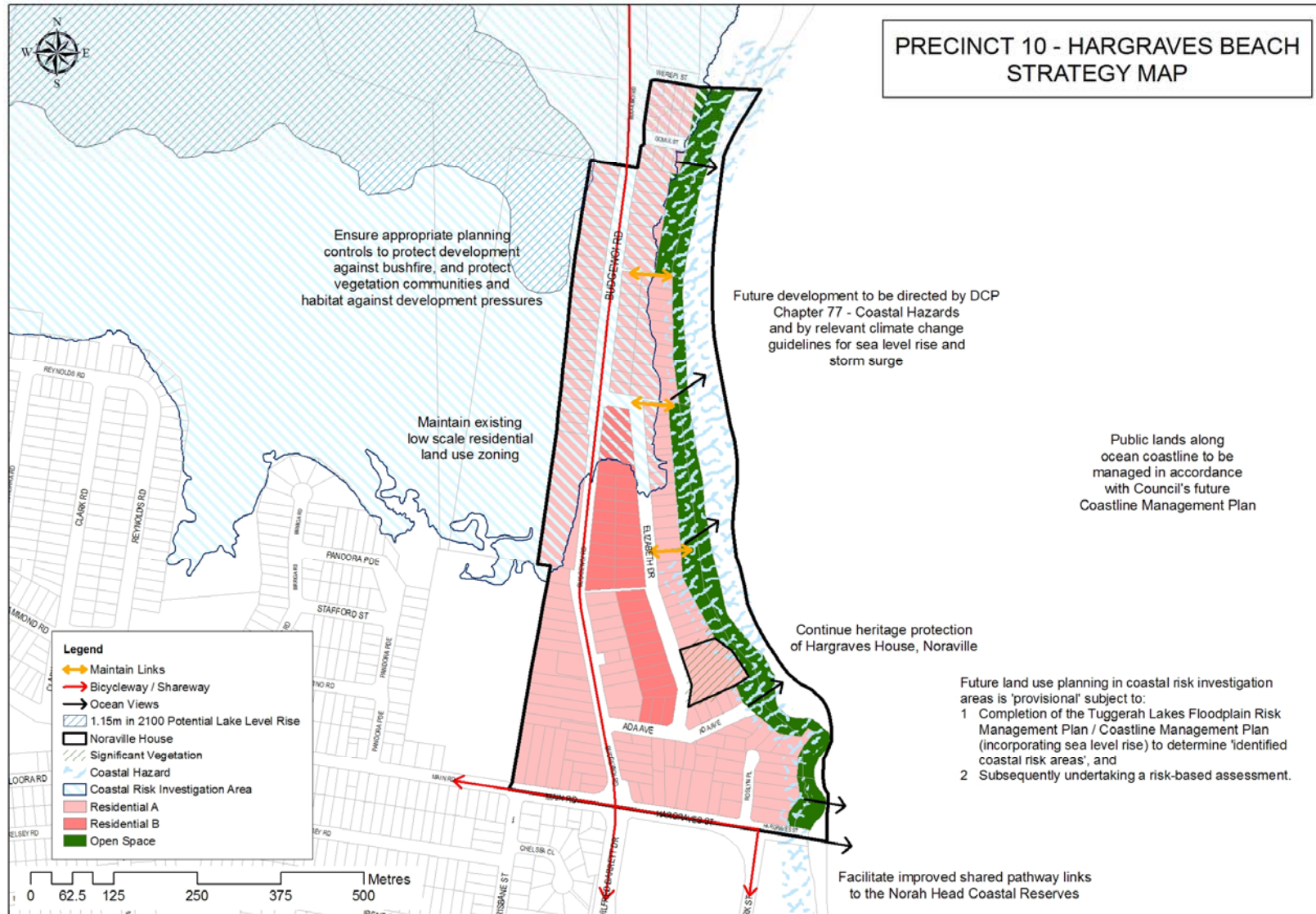
Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements.

Maintain and improve access to coastal reserves and beaches which is legible, safe and environmentally sustainable.

Bicycle and Shareway Connection

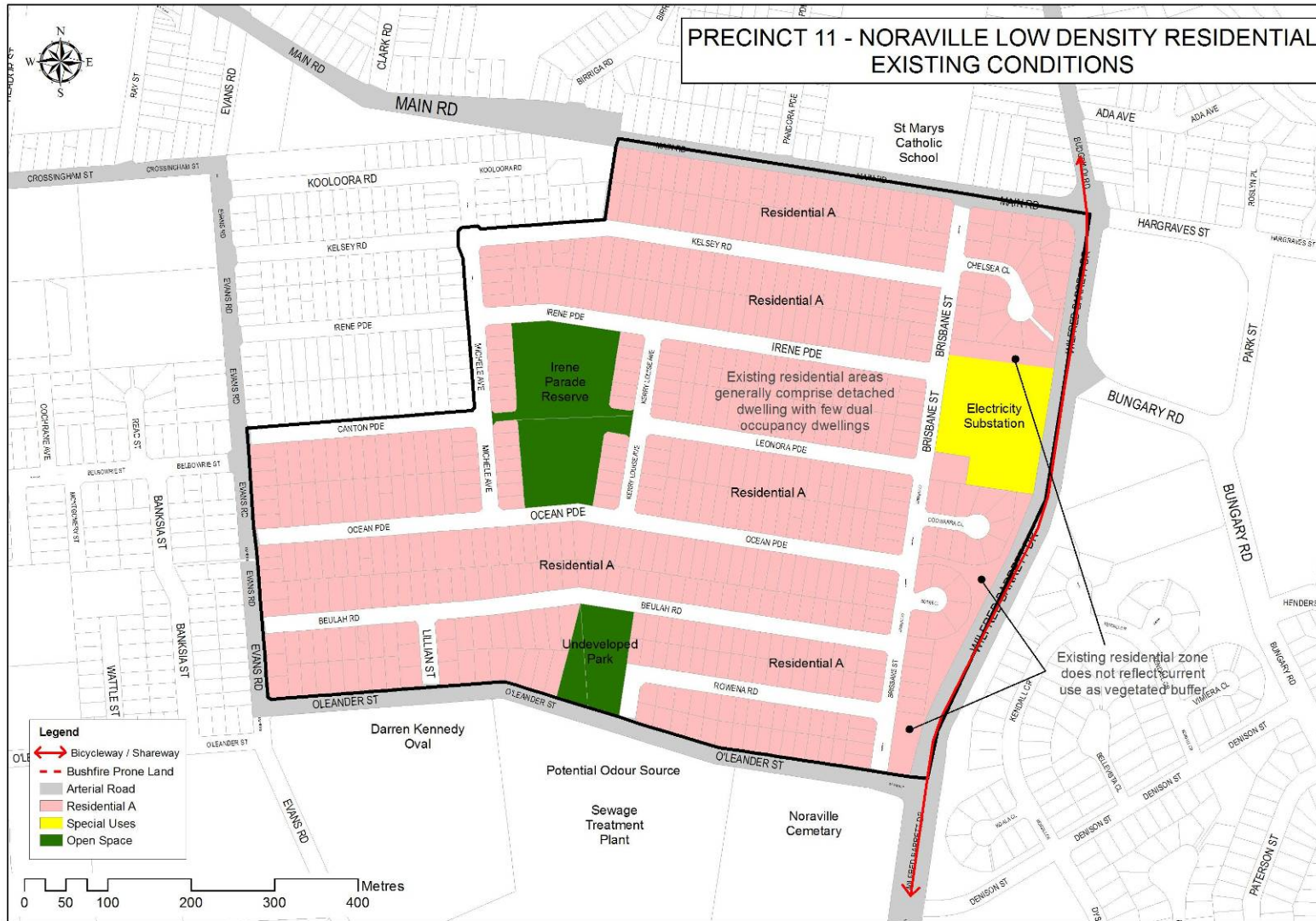
Inform the draft Bicycle and Shared Pathway Strategy with the following recommendations:

- Maintain and improve the existing cycleway along Budgewoi Road, Main Road and to the south of Wilfred Barrett Drive
- Provide new safe and legible shared pathway connection from existing bicycle and shared pathway in this Precinct, to the coastal reserves located in the Norah Head Precinct to the south



Map 21: Precinct 10 – Hargraves Beach Strategy Map

5.13 Precinct 11 - Norville Low Density Residential



Map 22: Precinct 11 – Norville Low Density Residential Existing Conditions

Location and Character

Precinct 11 – the Noraville low density residential area, is bounded to the north by Main Road, to the east by Wilfred Barrett Drive, to the south by Oleander Street and on the western edge partly by Evans Road and Michelle Avenue. The area is relatively level with a grid street pattern, with an emphasis on east-west streets except on the eastern border where three cul-de-sacs exist.

A large electricity substation is located on the eastern boundary.

The Precinct contains two significant open space areas, the primary one being Irene Parade Reserve located between Irene Parade and Ocean Parade, with an area of approximately 2.4 hectares. Irene Reserve is an attractive weeded park although in terms of function it lacks adequate and appropriate facilities. The secondary open space area is located between Beulah Road and Oleander Street having an area of just under 1 hectare. It is partly Crown Land and partly Council owned and is well vegetated, but does not serve any key passive or recreation purpose.

The vegetated buffers located between Wilfred Barrett Drive and the adjacent residential properties are currently zoned 2(a) Residential which does not reflect the existing and desired future use.

The majority of the Noraville area is zoned 2(a) Residential and comprises low density dwellings. The character of the area is similar to the northern Toukley area and appears relatively stable.



Photo 80: Ocean Parade, Noraville looking east

Vision

The Noraville area will continue to serve as a low scale residential area with predominantly detached dwellings but with scope for dual occupancy development. Streetscape improvements will be made through themed street tree planting and pedestrian pathways. The reserves will provide increased amenity and function for passive recreation.

Objectives

- Maintain the low scale and low density residential character of the area
- Enhance existing open space and recreation facilities
- Facilitate improvements to the local streetscape
- Regularise the vegetated buffers on western side of Wilfred Barrett Drive by appropriate zoning

Strategy and Recommendations

Planning Recommendations

Retain the existing 2(a) Residential zone to facilitate low scale residential development up to two storeys, including detached dwellings and dual occupancy.

Equivalent zoning under the Standard Instrument of R2 - Low Density Residential is recommended.

Rezone the vegetated buffers located between residential properties and Wilfred Barrett Drive to 6(a) Open Space.

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements.

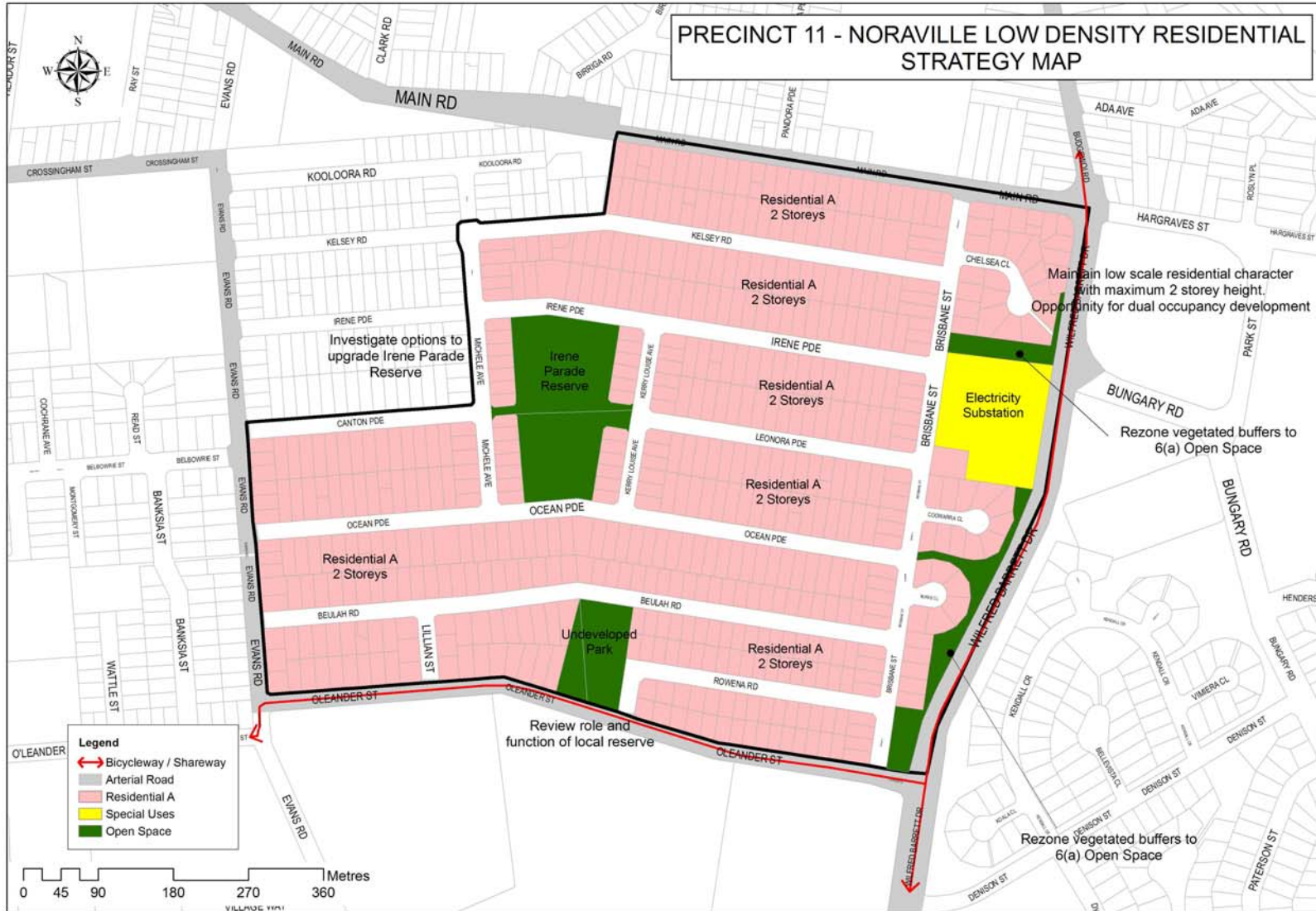
Investigate options to upgrade Irene Parade Reserve. Review the role and function of the local reserve located between Oleander Street and Beulah Road.



Photo 81: Irene Parade Reserve, Noraville

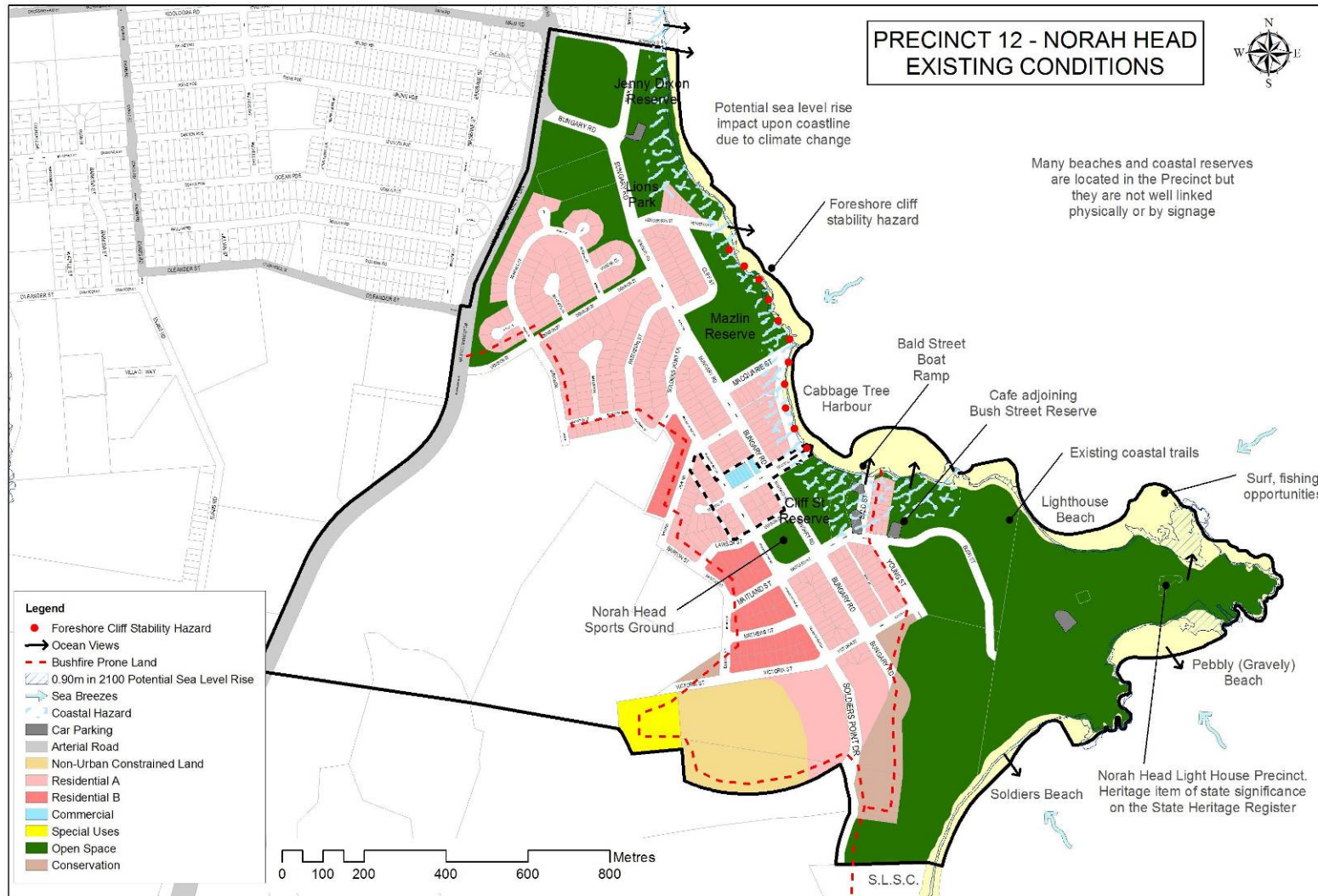
Streetscape Improvement

Update Council's capital works program to undertake street tree planting and pedestrian improvements.



Map 23: Precinct 11 – Norville Low Density Residential Strategy Map

5.14 Precinct 12 - Norah Head



Map 24: Precinct 12 – Norah Head Existing Conditions

Location and Character

Precinct 12 – Norah Head is located on the eastern side of Wilfred Barrett Drive south of Hargraves Street and follows the coastline east to include the Norah Head Lighthouse Precinct located on the headland. It extends southwest to Soldiers Beach and then back in a westward direction to Wilfred Barrett Drive. Norah Head has a unique coastal village character which builds upon a perceived isolation. It contains a series of spectacular beaches, coves, headlands, coastal reserves and parks and the Norah Head Lighthouse.

Norah Head Village – Precinct 12a, is centred on Mitchell Street between Soldiers Point Road and Bungary Road, with the topography falling from the latter to provide potential views across Cabbage Tree Bay to the ocean. The existing commercial area is located on the northern side of Mitchell Street and wraps around the corner along the eastern side of Bungary Road.

Mitchell Road has a very wide road reserve and its poor amenity contributes little to attract and retain visitors. The extension of Mitchell Street to the eastern side of Bungary Road is only partially formed, and potential ocean views from the commercial area are obscured by vegetation in the road reserve.



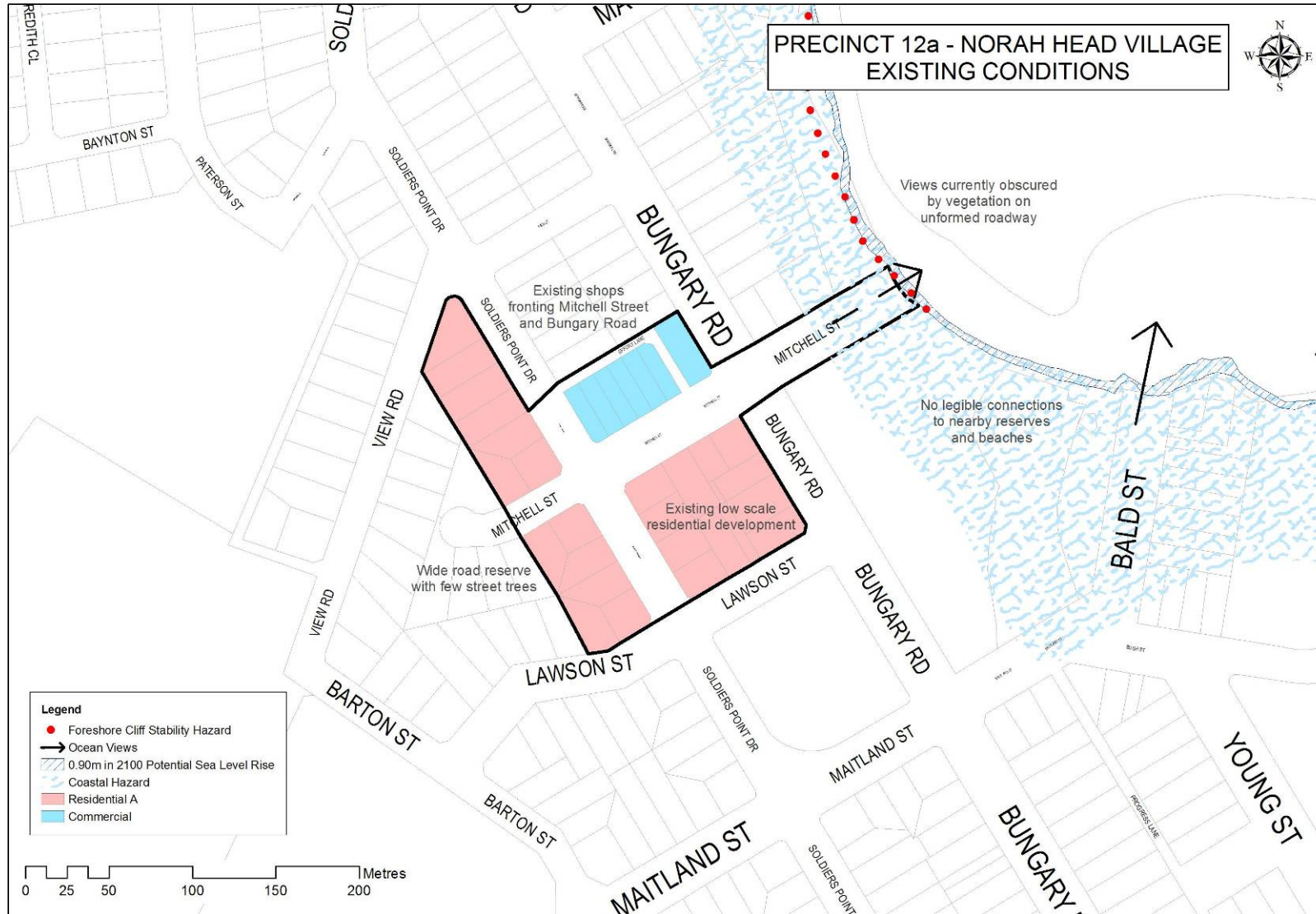
Photo 82: Mitchell Street shops, Norah Head looking east

There are a range of EECs located throughout the Precinct. These need to be preserved and appropriately managed.

Norah Head has potential to support low intensity tourist uses, and could benefit from improved amenity, services and focus of activity at the Mitchell Street local shops. There are also limited opportunities to introduce alternative dwelling types at Norah Head. The existing conditions are shown in Map 25.

It is recommended that the strategic direction for Norah Head:

- Consider a new zone that would allow low intensity tourist accommodation and services in the vicinity of the existing local shops
- Introduce opportunities for lower scale medium density developments close to the Mitchell Street shops
- Ensure that future developments acknowledge the existing subdivision pattern, maintain setbacks and avoid wall-like built forms
- Undertake streetscape improvements at Mitchell Street to improve pedestrian amenity and usability of the public space



Map 25: Precinct 12a – Norah Head Village Existing Conditions

Vision

Norah Head will retain its character as a coastal village. A new low intensity tourist precinct at the Mitchell Street shops will see opportunities for low scale mixed use buildings on the southern side of Mitchell Street.

New developments would have cafes, restaurants and other active uses at ground level with residential units above. A new medium density area is also to be created on the western side of Soldiers Point Drive.

Mitchell Street will be transformed with generous footpaths, mid street plantings and a pedestrian/vehicle shareway. The carriageway of Bungary Road will also be narrowed and landscaped at Mitchell Street contributing to the sense of place at the local centre.

The extension of Mitchell Street to the east will lead to a new lookout and provide a view corridor from the village and a viewing platform.

The various coastal parks and beaches, the lighthouse precinct and the village centre will be linked by a series of walking and or shared pathways. Integrated signage will provide visitors and residents ready awareness of the range of attractions and the best way to get to them.



Photo 83: Aerial view of Norah Head shops and Cabbage Tree Harbour



Photo 84: Coastal reserve, Norah Head

Objectives

- Preserve the low scale village character at Norah Head
- Recognise Norah Head as a boutique tourist destination and provide land use areas to support the use
- Facilitate low scale tourist development with cafes, restaurants and active uses at ground level along Mitchell Street with residential units above suited to short term accommodation
- Develop a contributions strategy to enable civic improvements focusing on the Mitchell Street local shops
- Prepare detailed development controls to ensure good amenity within the village centre, especially in terms of solar access to public spaces
- Improve pedestrian and cycle links and legibility between the village centre and the beaches, coastal parks and surrounding areas
- Manage development in coastal areas accounting for coastal processes and the potential impacts of climate change

- Protect areas of environmental and cultural heritage significance, both Aboriginal and European
- Develop and promote sustainable coastal walking trails
- Manage traffic along Bungary Road and Soldiers Point Drive



Photo 85: Norah Head Lighthouse and coastline

Strategy and Recommendations

Planning Recommendations

Rezone land fronting the Southern side of Mitchell Street to 3(d) Business Tourist Zone. The future controls at Norah Head will allow up to three storeys in the commercial zone, but should require the third level to be setback from the street frontage. This applies to both sides of Mitchell Street. Tourist accommodation will be located at upper levels. Active uses that serve local residents and visitors (general store, cafes, and restaurants) should be encouraged at ground level. A future SP3 Zone is a likely equivalent under the Standard Instrument.

New 2(b) Multiple Dwelling Residential housing further south between Bungary Road, Soldiers Point Drive and the unformed Lawson Street to enable villa and townhouse residences up to two storeys in height close to the village. To further reinforce the village centre, additional 2(b) Multiple Dwelling Residential zoned land is proposed for lots fronting the western side of Soldiers Point Drive between View Road and Lawson Street. New multiple dwelling residential developments in this area should maintain established setbacks and provide satisfactory landscaped area (including deep soil areas). The location of existing trees should be confirmed and controls are recommended to ensure that buildings are designed and sited as discrete “footprints” and not allowed to become expansive, unbroken facades. The equivalent zone under the Standard Instrument is likely to be R1 - General Residential.

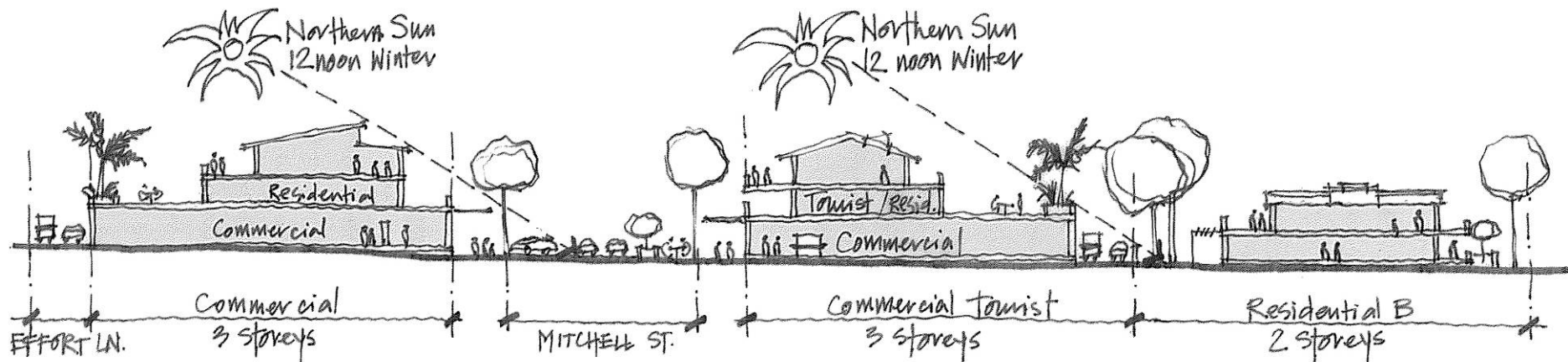
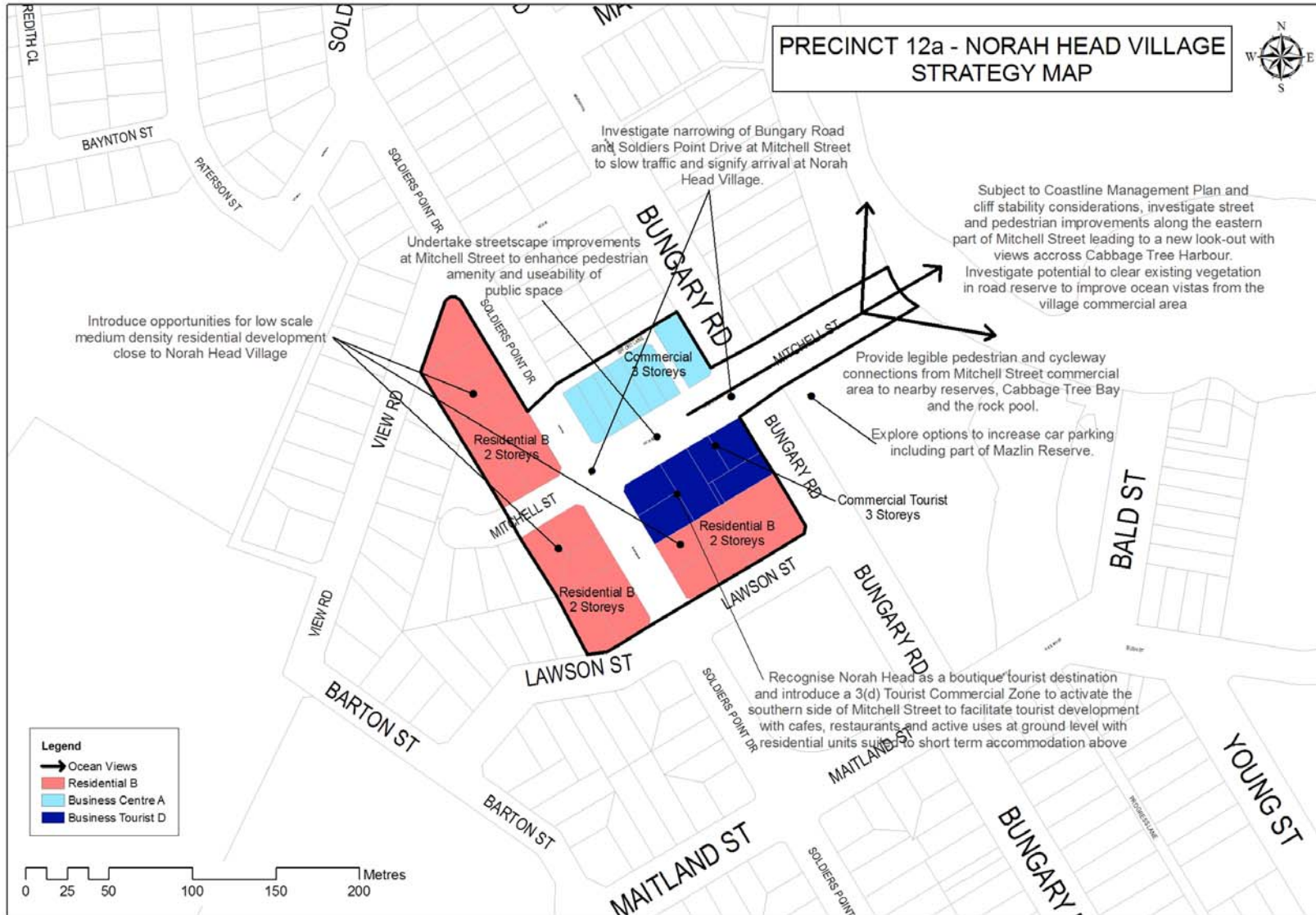


Figure 19: Indicative Section through Precinct 12 – Norah Head



Map 26: Precinct 12a – Norah Head Village Strategy Map

Retain the Bowling and Sports Club, the Norah Head Tourist Park and adjacent uses in the southern part of the Precinct.

Rezone two land parcels situated north and south of the Bungary Road intersection with Barrett Drive from 6(a) Open Space zone to 7(a) Conservation to reflect existing environmental values of the land. An E2 Environmental Conservation zoning under the Standard Instrument may be appropriate.

While no change to land use zones is recommended by the Strategy within coastal risk investigation areas this is on a **provisional basis only** and will be **deferred**, subject to the verification of 'identified coastal risk areas' by the Coastline Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions
- Specific development provisions within a DCP (eg. Chapter 77 – Coastal Hazards)

Streetscape and Civic Improvements

Undertake streetscape improvements at Mitchell Street to enhance pedestrian amenity and useability of public space. Widening the footpaths (narrowing the roadway) and introducing street trees in the centre of Mitchell Street will create opportunities for alfresco dining.

Investigate the viability of narrowing Bungary Road and Soldiers Point Drive at Mitchell Street to slow traffic and signify a sense of arrival at Norah Head Village.

Subject to the draft Coastline Management Plan and cliff stability considerations, explore street and pedestrian improvements along the eastern part of Mitchell Street leading to a new look-out to capture views across Cabbage Tree Harbour. As part of this process, investigate the potential to clear existing vegetation in the road reserve to improve ocean vistas from the village commercial area.



Photo 86: Existing road reserve, Mitchell Street

Bicycle/Shareway Connections and Pedestrian Links

Inform the draft Bicycle and Shared Pathway Strategy with the following recommendations:

- Provide legible links between the many coastal reserves and other attractions such as the Lighthouse Precinct, Soldiers Beach, Village Centre and Cabbage Tree Harbour
- Connecting with existing bicycle pathways in Wilfred Barrett Drive, Main Road and Budgewoi Road
- Explore options for additional integrated coastal walks and promote as a tourist opportunity

Carparking

Undertake a review of the adequacy of public carparking for the coastal reserves particularly in the vicinity of Bush Street.

Cultural Heritage

Preserve and protect the existing Norah Head Lighthouse Precinct including the items under heritage listing.

Protect areas of Aboriginal Cultural Significance.



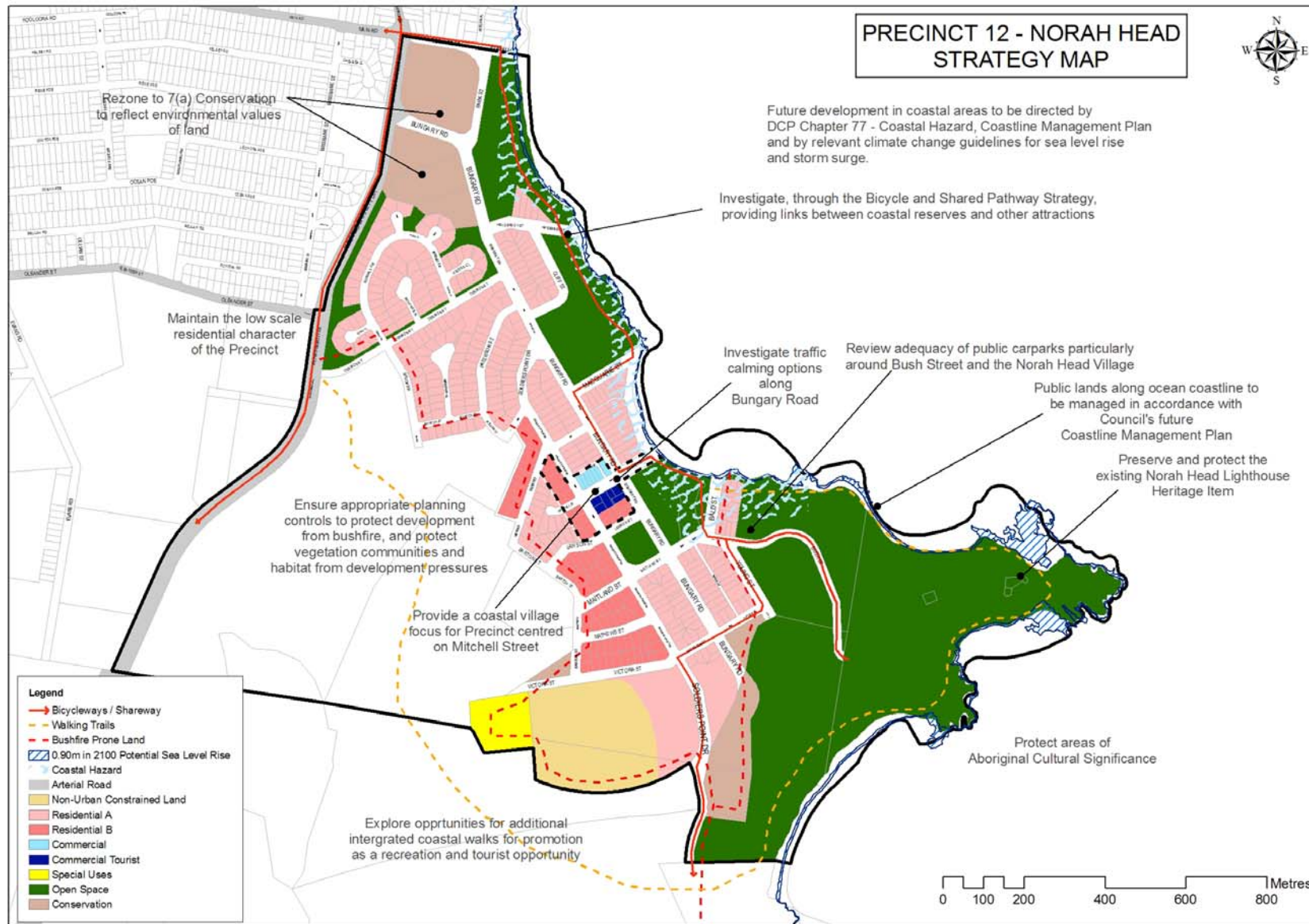
Photo 87: Coastal cliffs, Norah Head

Climate Change and Coastal Protection

The Precinct is potentially susceptible to climate change impacts associated with sea level rise and increased storm surge. These issues will be addressed by incorporating the latest climate change guidelines as these emerge.

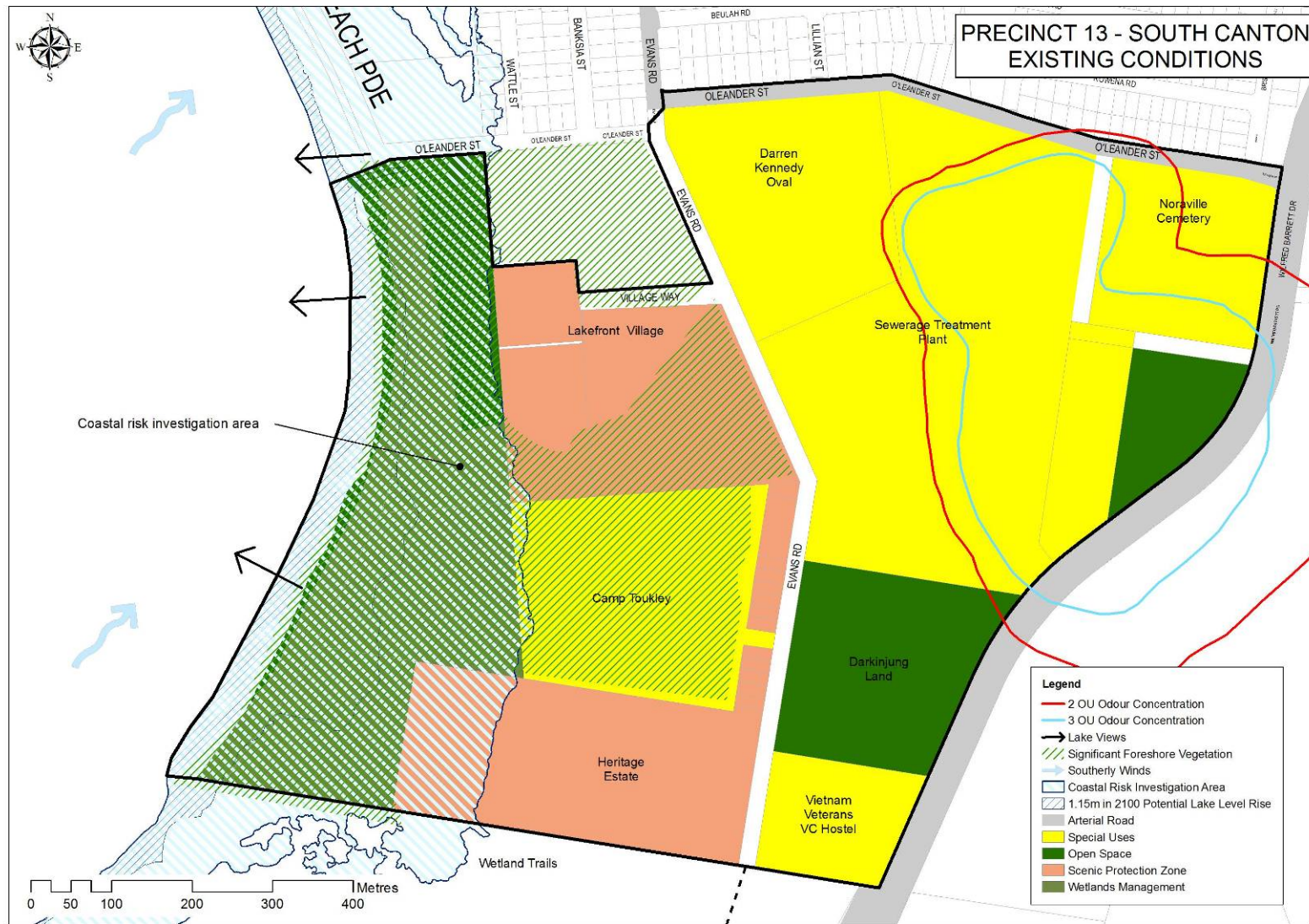
Future Development in coastal areas will be directed by DCP Chapter 77 – Coastal Hazards and by relevant climate change guidelines.

Public lands along the ocean coastline will be managed in accordance with Council's future Coastline Management Plan (currently under development).



Map 27: Precinct 12 – Norah Head Strategy Map

5.15 Precinct 13 - South Canton



Map 28: Precinct 13 – South Canton Existing Conditions

Location and Character

Precinct 13 – South Canton is situated to the south of the Canton Beach and Noraville Precincts being bounded to the north largely by Oleander Street, although the Canton Beach Tourist Park is excluded from this Precinct being part of the Canton Beach Precinct. Precinct 13 is bounded to the east by Wilfred Barrett Drive, to the south by Wyrrabalong National Park and to the west by Tuggerah Lake.

Noraville Cemetery is located in the north-eastern corner of the Precinct and contains the heritage item “John Hargraves Grove”. Adjacent to the cemetery’s western edge is the Toukley Sewerage Treatment Plant, which historically has included other Council operational uses.

Darren Kennedy Oval is located further west. South of the Treatment Plant is a parcel of vegetated Darkinjung land, while further south is the Vietnam Veterans VC Hostel.

Evans Road runs north-south, bisecting the Precinct. There are three key uses located between Evans Road and Tuggerah Lake Foreshore that include: Lakefront Village Seniors Living; Camp Toukley and recreation camp facilities; and ‘Heritage Estate’ a manufactured home estate containing approximately 400 dwellings. The latter represents a significant contribution to low cost housing stocks on the Peninsula. There are several detached dwelling properties also located on the western side of Evans Road.

The land adjoining the foreshore in this Precinct contains ecologically scenically significant foreshore vegetation. Much of this area is zoned 7(g) Wetland reflecting the presence of wetland vegetation. In fact EECs are present in various locations within the Precinct. This fact alone suggests that this Precinct will not support a significant increase in urban development, and highlights the challenge to manage impacts upon the local ecology.

Due to the scenic and ecological qualities of the Precinct there exist opportunities to enhance sustainable recreational opportunities such as walking and cycling paths along the foreshore. These could potentially link to the existing trails in Wyrrabalong National Park, which include the Wetland Trail and the Red Gum Trail from the Canton Beach foreshore to the north.

Caravan and mobile home parks on the southern end of Canton Beach include significant low cost housing stocks.



Photo 88: Southern end of Evans Road

Vision

The South Canton Precinct will serve as a transitional area between the urban uses to the north and the national park to the south. It will continue to provide accommodation for seniors living and low cost housing, as well as other uses such as the Vietnam Veteran Hostel and recreation camp. Council land within the Precinct will continue to serve for Council operations, including the Sewerage Treatment Plant, into the future. Future development potential in the Precinct will be limited due to existing ecological constraints.

The foreshore will provide some pedestrian and cycle links between Canton Beach and the Wyrrabalong National Park walking trails.

Objectives

- Maintain the existing land uses as an appropriate transition between the urban areas to the north and national park to the south
- Protect existing low cost and seniors housing
- Protect the scenic foreshore vegetation
- Develop environmentally sensitive recreational links along the foreshore between Canton Beach and Wyrrabalong National Park
- Provide opportunities for shareway links to Wilfred Barrett Drive
- Facilitate continuance of Council operational uses
- Protect existing ecologically sensitive areas from development pressures and adjacent properties from bushfire hazard
- Plan for potential lake level rise and other climate change



Photo 89: Significant foreshore vegetation

Strategy and Recommendation

Planning Recommendations

Investigate appropriate future zoning for seniors living and mobile home parks under the Standard Instrument.

Ensure appropriate future zoning under Standard Instrument that facilitates Council operations including the Sewerage Treatment Plant. A SP1 Special Activities – Council Operations zone is recommended.

Explore appropriate use zoning for Darren Kennedy Oval to best reflect its use for recreation. A RE1 – Public Recreation zone is recommended.

Two parcels of 6(a) Open space zoned land along Wilfred Barrett Drive are recommended to be rezoned, to reflect their ecological constraints given each are undeveloped and not required for strategic open space. A 7(a) Conservation zone is recommended for the constrained component of the northern parcel and a 7(g) Wetland Management zone for the southern parcel. Under the Standard Instrument an E2 - Environmental Conservation zone is recommended for both parcels.

While no change to land use zones is recommended by the Strategy within coastal risk investigation areas, this is on a **provisional basis only** and will be **deferred**, subject to the verification of 'identified coastal risk areas' by the Tuggerah Lakes Floodplain Risk Management Plan. Following this, detailed locality risk-based analysis will be required in 'identified coastal risk areas' to detail the nature of risks and identify measures to manage risk to life, property and environment. A range of planning mechanisms (outlined under DoP's Draft Sea Level Rise Planning Guideline) may be explored to avoid intensifying land use or reduce land use intensity. These include:

- Land use zones and zoning objectives (eg. down-zoning, new zone objective and restriction of certain land uses)
- Principle development standards (eg. minimum subdivision size, FSR etc)
- Additional LEP provisions (eg. use of foreshore building lines)
- Specific development provisions within a DCP Chapter

Parks and Reserves

Prepare an Open Space Structure Plan for the Toukley Peninsula to examine the role and function of existing open space, the level and condition of existing facilities and landscaping, connections and accessibility and to make recommendations for future improvements.

Explore environmentally sensitive recreational opportunities along the foreshore such as walking trails, with the potential to link Canton Beach and the existing trails in Wyrrabalong National Park.



Photo 90: Entry to Wyrrabalong National Park from Evans Road

Bicycle and Shareway Connection

Inform the draft Bicycle and Shared Pathway Strategy with the following recommendations:

- Investigate the potential for a shared pathway extending along the foreshore of the Precinct
- Investigate potential for shareway links from the foreshore to Wilfred Barrett Drive. These may potentially be co-located with any APZ requirements for bushfire protection

Significant Trees

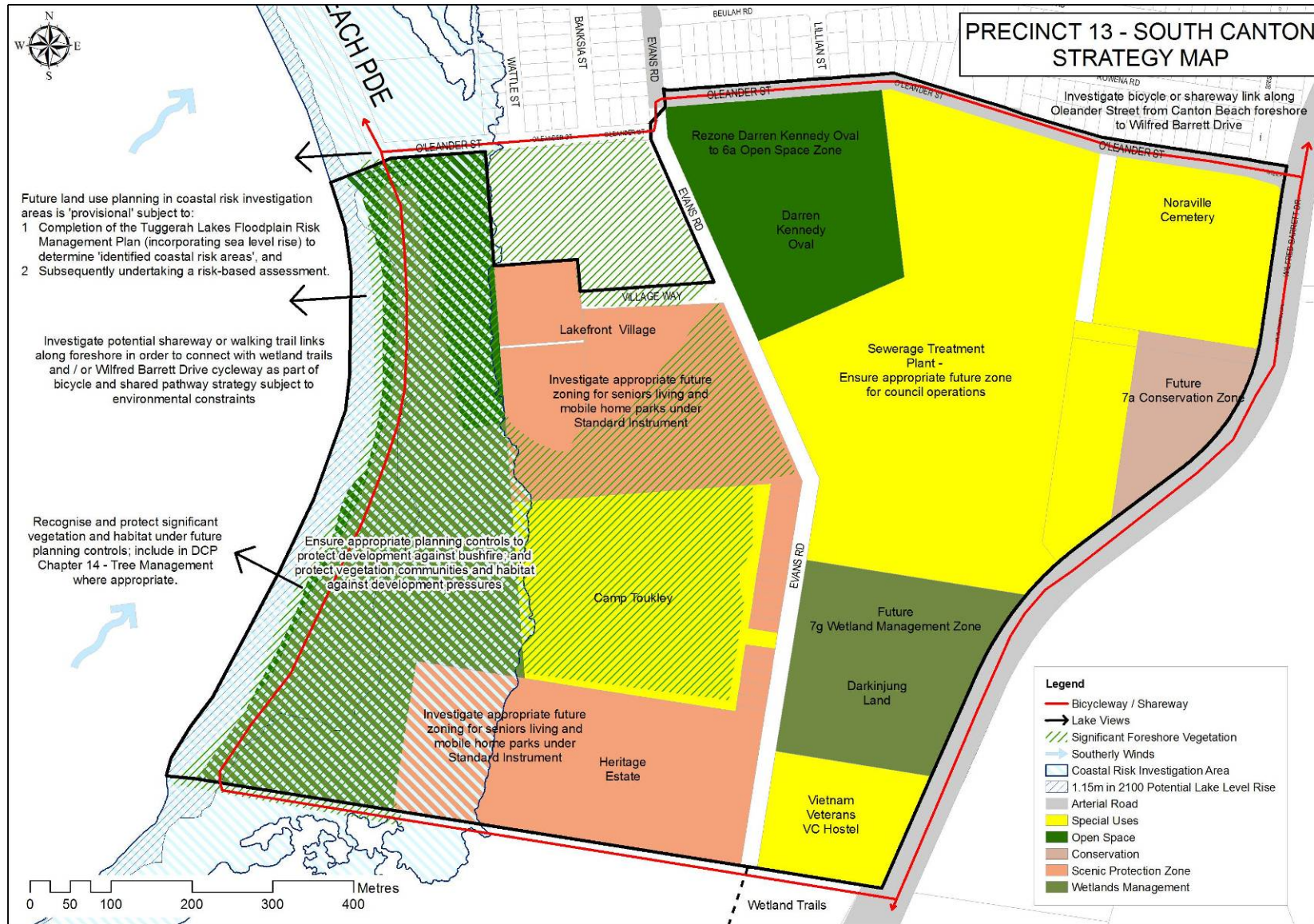
Undertake a Significant Tree Study examining foreshore vegetation with any recommendation to be included into DCP 2005 Chapter 14 – Tree Management.

Climate Change

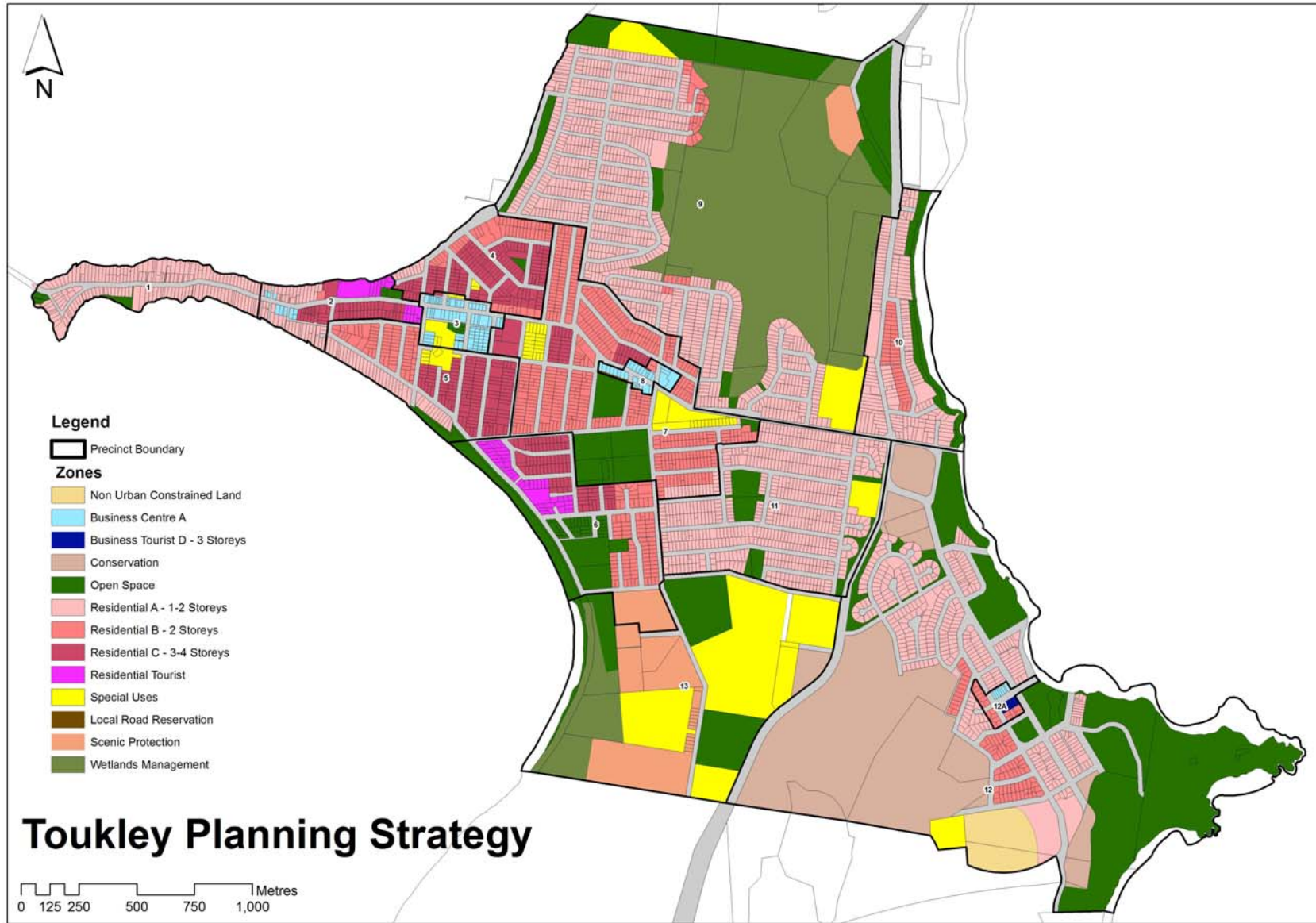
The Precinct is potentially susceptible to climate change impacts associated with lake level rise and increased storm surge. These issues will be addressed by incorporating the latest climate change guidelines as these emerge.

Sewerage Treatment Plant

No further population growth beyond existing zone capacity is to be accommodated within areas affected by the 20U odour contour. When Council conducts a review of the plant, it is recommended that the SKM odour study be updated.



Map 29: Precinct 13 – South Canton Strategy Map



Map 30: Toukley Planning Strategy 2009

Any Strategy is only as good as the mechanisms set in place to implement the recommendations it contains. The following implementation measures are proposed to promote the recommendations of the Strategy:

- Implement land use recommendations through an amendment (rezoning) to Wyong LEP 1991 or to the Comprehensive LEP under the Standard Instrument.
- Prepare a new DCP Chapter for the Toukley Peninsula consolidating existing local Chapters, developing and defining a relaxed coastal character theme with appropriate planning guidelines.
- Prepare a revised Section 94 Contributions Plan to address the demand for additional services and facilities likely to be required as a consequence of the projected dwelling and population growth.
- Prepare Masterplans for Toukley Town Centre, Canton Beach, Peel Street foreshore and Norah Head Village to provide detailed options analysis, urban design framework and guidelines aimed at facilitating the recommendations identified in the Strategy for each of these Precincts.
- Prepare an Open Space Structure Plan for the Toukley Peninsula to inform the level and type of recreational open space and facilities required for the existing and projected population.
- Prepare a Significant Tree Study with recommendations to be included in DCP 2005 Chapter 14 – Tree Management where required.
- Prepare streetscape improvement plans for various Precincts identified in the Strategy.
- Implement the relevant recommendations of the Foreshore Recreation Strategy in accordance with the Tuggerah Lakes EMP.
- Inform the preparation of a Bicycle and Shared Pathway Strategy and Council's Settlement Strategy.
- Implement Strategy recommendations in relation to traffic, transport and parking.
- To ensure appropriate protection and preservation of the Peninsula's ecological attributes, an Ecological Management Plan will be required with the following scope to include:
 - Weed control
 - Revegetation and rehabilitation of areas set aside for conservation
 - Measures to minimise impacts by construction and associated activities
 - Habitat enhancement measures
 - Stormwater and aquatic habitat management
 - Road designs in environmental sensitive areas
 - Fencing and community education to exclude or limit human activities in environmentally sensitive areas
 - Monitoring program for threatened plants, fauna and endangered ecological communities
- Prepare Gateway Treatments Concept Design Plans for the western, northern and southern entrances to the Toukley Peninsula including appropriate landscaping, themed signage and public art.

On the following pages is an Implementation Schedule that provides more detail regarding implementation of the Strategy recommendations in terms of mechanisms, timeframe, responsibility and resources.

6.1 Implementation Schedule

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
Update and improve planning controls and framework for the Toukley Peninsula	Implement land use recommendations through an amendment to Wyong LEP 1991 or inclusion in or amendment to the Comprehensive LEP	Commence Year 1	Future Planning	GTV, NGOs, Community Groups, Business Groups, Government Agencies, Department of Planning	Within Existing
	Prepare a new consolidated DCP Chapter for Toukley Peninsula with defined character theme and planning guidelines	Commence Year 2	Future Planning	GTV, NGOs, Community Groups, Business Groups, Government Agencies, Department of Planning	Within Existing and \$ Required
	Prepare a masterplan for the Toukley Town Centre and immediate surrounds	Commence Year 1	Future Planning	GTV, NGOs, Community Groups, Business Groups, Government Agencies, Department of Planning	Within Existing and \$ Required
	Prepare a masterplan for Canton Beach tourist precinct and foreshore	Commence Year 2	Future Planning	GTV, NGOs, Community Groups, Business Groups, Government Agencies, Department of Planning	\$ Required
	Prepare a masterplan for Norah Head Village and surrounds	Commence Year 3	Future Planning	GTV, NGOs, Community Groups, Business Groups, Government Agencies, Department of Planning	\$ Required
	Prepare a masterplan for the Peel Street foreshore	Commence Year 4	Future Planning	GTV, NGOs, Community Groups, Business Groups, Government Agencies, Department of Planning	\$ Required

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
Stimulate development and business interest in the Toukley Peninsula	Liaise and negotiate with land owners of potential 'trigger sites' concerning redevelopment options. Such sites include the Toukley Town Centre public carpark and surrounding land and the street block containing Toukley Caravan Park.	Commence Year 1	Future Planning, Business Development, Property Services	Land Owners, GTV, Business Groups, Community Groups, Government Agencies	Within Existing
Ensure new development contributes towards the cost of new infrastructure and facilities	Prepare a revised Section 94 Contributions Plan	Commence Year 1	Future Planning		S.94 Funds
Ensure the Toukley Peninsula has adequate open space and recreation land and facilities	Prepare an Open Space Structure Plan for the Toukley Peninsula	Commence Year 1	Future Planning, Open Space and Recreation	Community Groups, GTV, Schools, Sporting Groups	Within Existing
Improve and protect natural and built environment	Prepare a Significant Tree Study with recommendations to be included as an amendment to DCP Chapter 14 Tree Management where required	Commence Year 2	Legal and Policy Unit, Future Planning, Open Space and Recreation	DECCW, Community Groups, Local Aboriginal Groups	Within Existing
	Prepare Streetscape Masterplan Strategy	Commence Year 2	Future Planning, Open Space and Recreation, Road and Drainage	GTV, Business Groups, Community Groups, Schools	Within existing

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
Improve and protect natural and built environment (Contd)	Prepare streetscape improvement plans for various Precincts identified in the Strategy	Commence Year 3	Future Planning, Open Space and Recreation, Road and Drainage	GTV, Business Groups, Community Groups, Schools	Within existing
	Implement the recommendations of the Foreshore Recreation Strategy in accordance with the Tuggerah Lakes EMP	According to the EMP 5 year implementation plan	Estuary Management Unit	Community Groups, Community Members	Within existing, State and Federal Government Grants
	Inform the Settlement Strategy	Year 1	Future Planning		Within existing
	Prepare an Ecological Management Plan for the Toukley Peninsula	Year 2	Natural Resources, Future Planning	DECCW, Department of Planning, CMA, Community Groups, RFS, NGOs	Within existing
	Support Actions of the Tuggerah Lakes Estuary Management Plan	According to the EMP 5 year implementation plan	Estuary Management Unit	Community Groups, Community Members, NGOs	Within existing, State and Federal Government Grants
	Prepare Gateway Treatments Concept Design Plans for the western, northern and southern entrances to the Toukley Peninsula	TBA	Future Planning, Open Space and Recreation		Within existing
Improve traffic, transport and parking	Inform the Bicycle and Shared Pathway Strategy	Year 1	Future Planning	GTV, NGOs, Community Groups, Community Members, Business Groups, Schools, RTA	Within existing

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
Improve traffic, transport and parking (Contd)	Review traffic management measures via an LATM in the context of proposed development scenarios.	Year 1 and ongoing	Future Planning	GTV, NGOs, Community Groups, Community Members, Business Groups, Schools, RTA	Within existing
	Lobby the RTA to upgrade the state roads (Main Road/Wallarah Road and Central Coast Highway) in terms of efficient vehicle movement.	Year 1 and ongoing	Future Planning	GTV, NGOs, Community Groups, Community Members, Business Groups, Schools, RTA	Within existing
	Lobby NSWTI (New South Wales Transport and Infrastructure) to deliver the Strategic Bus Corridors to obtain real improvements to public transport travel times	Year 1 and ongoing	Future Planning	NSWTI, GTV, NGOs, Community Groups, Community Members, Business Groups, Schools, RTA	Within existing
	Pursue with NSWTI the provision of express buses, in peak commuter times, from Toukley to Wyong that do not go into Lake Haven	Year 1 and ongoing	Future Planning	NSWTI, GTV, NGOs, Community Groups, Community Members, Business Groups, Schools, RTA	Within existing
Business and Tourism Improvement	Continue to support bodies such as the GTV in attracting sustainable business and events to the Toukley Peninsula, and promoting the region's attractions and relaxed coastal lifestyle	Year 1 and ongoing	Future Planning, Business Development	GTV, NGOs, Business Groups, Community Groups	Within existing

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
Business and Tourism Improvement (Contd)	Explore mechanisms to further develop a tourist identity as a platform to promote the Toukley Peninsula.	Year 1 and ongoing	Future Planning, Business Development	GTV, NGOs, Business Groups, Community Groups	Within existing
	Consider the capacity of the natural areas of the Peninsula for eco-tourism	Year 5	Future Planning, Business Development	GTV, NGOs, Business Groups, Community Groups	\$ Required
Community and Cultural Development	Support and enhance the existing range of community and cultural facilities and services available for the Toukley Peninsula.	According to Community Plan – Action Plan	Future Planning, Community Development	Community Groups, NGOs, GTV, Community Members, Business Groups	\$ Required
	Monitor gaps in service and facility provision.	According to Community Plan – Action Plan	Future Planning, Community Development	Community Groups, NGOs, GTV, Community Members, Business Groups	Within existing
	Develop and implement strategies to address service and facility shortfall such as the current lack of youth focussed services.	According to Community Plan – Action Plan, and draft Youth Strategy	Future Planning, Community Development	Community Groups, NGOs, GTV, Community Members, Business Groups, Young People	\$ Required
	Explore partnership opportunities with community groups and local residents through community and cultural projects to promote connectedness	Commence Year 1 and ongoing	Future Planning, Community Development	Community Groups, NGOs, GTV, Community Members, Business Groups, Young People	Within existing

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
	Explore mechanisms that encourage and/or require new development to provide the world's best integrated IT facilities	According to Community Plan – Communication and Information Action Plan	Community Development, Communications Unit, Future Planning, IT Section, Library Services		Within existing
Protect our heritage	Incorporate the recommendations, as they affect Toukley Peninsula, of the Shire wide Heritage Review	Year 1 and ongoing	Future Planning, Development Assessment	NSW Heritage Branch, DECCW, Local Aboriginal Groups, Community Groups, NGOs	\$55K (part Grant Funded)
	Ensure adequate protection of Aboriginal sites, relics and other items	Year 1 and ongoing	Future Planning, Development Assessment Unit, Open Space and Recreation	NSW Heritage Branch, DECCW, Local Aboriginal Groups, Community Groups, NGOs	Within existing
Plan for Climate Change	Potential impacts of climate change to be addressed by incorporating appropriate planning solutions into planning controls and guidelines	Year 1 and ongoing	Future Planning, Development Assessment, Natural Resources, Sustainability	Community, Development Industry, Government Agencies, NGOs	Within existing and \$ Required
	Develop Tuggerah Lakes Floodplain Risk Management Plans	Commenced and Year 1	Natural Resources, Estuary Management	DECCW, SES, Community Groups, NGOs	\$95K
	Coastline Management Plans	Commenced and Year 1	Sustainability Unit	DECCW, Community, Development Industry, Government Agencies, NGOs	
Stormwater and Bushfire Management	WSUD Principles included in future controls for development in locality	Ongoing	Development Assessment, Natural Resources, Future Planning, Legal and Policy	Development Industry	Within existing

Aim	How - Implementation Mechanism	Timeframe	Council Section/Unit Responsibility; Involvement of Other Sections	Partners	Resources
Stormwater and Bushfire Management (Contd)	Advise Council's Open Space and Recreation Section of bushfire risk to existing properties adjoining bushland and encourage funding and resources to be allocated to construct fire trails and APZs where required	Advise - Year 1 Implement – According to the draft Bushfire Risk Management Plan	Open Space and Recreation, Legal and Policy, Future Planning, Community Development	DECCW, Community Groups, RFS, CEN, NSW Fire Brigade	Within existing
	Prepare and implement a bushfire management plan to manage the interface between existing property and natural bushland	Commence Year 2	Legal and Policy, Open Space and Recreation, Natural Resources, Future Planning	RFS, NSW Fire Brigade, CEN, WYCARE, NCCNSW, Community Groups, DECCW	Within existing
Infrastructure and Servicing	Investigate benefit of preparing a comprehensive drainage scheme for Toukley Peninsula against which future Section 94 Contributions may be collected against	TBA	Asset Management Group, Roads and Drainage, Natural Resources, Development Assessment Engineers		\$ Required
	Investigate options to best manage the sewerage system in times of flood	TBA	Investigation and Design		Within existing
Ensure Toukley Planning Strategy remains current and effective	Review Toukley Planning Strategy in terms of currency and priority, and effectiveness of implementation measures	Commence Year 6	Future Planning	Community Groups, Community Members, Business Groups, NGOs, Government Agencies, GTV	Within existing and \$ Required

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Glossary

AEP	Annual Exceedance Probability
AHD	Australian Height Datum
ASS	Acid Sulphate Soils
CCRS	Central Coast Regional Strategy
DCP	Development Control Plan
DECCW	Department of Environment, Climate Change and Water
DoP	Department of Planning
EP&A Act	Environmental Planning and Assessment Act, 1979
ESD	Ecologically Sustainable Development
ET	Equivalent Tenement
FSR	Floor Space Ratio
LATM	Local Area Traffic Management Plan
LEP	Local Environmental Plan
LGA	Local Government Area
MHE	Manufactured Home Estates
NWSSP	North Wyong Shire Structure Plan
NSWTI	New South Wales Transport and Infrastructure
RCP	Central Coast Regional Conservation Plan
RDS	Residential Development Strategy
RLV	Residual Land Value
SEPP	State Environmental Planning Policy
SSV	Shire Strategic Vision