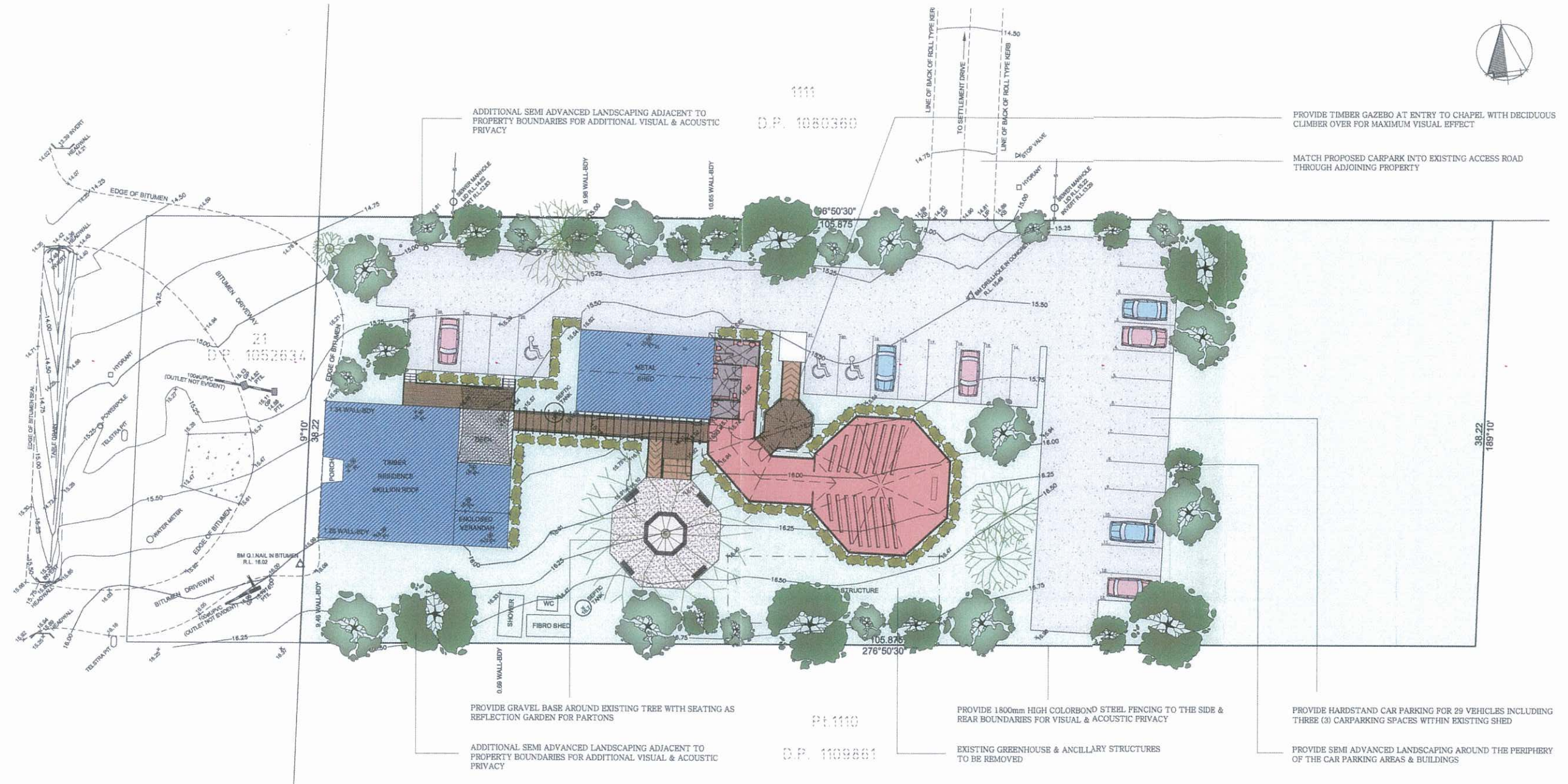




PACIFIC HIGHWAY



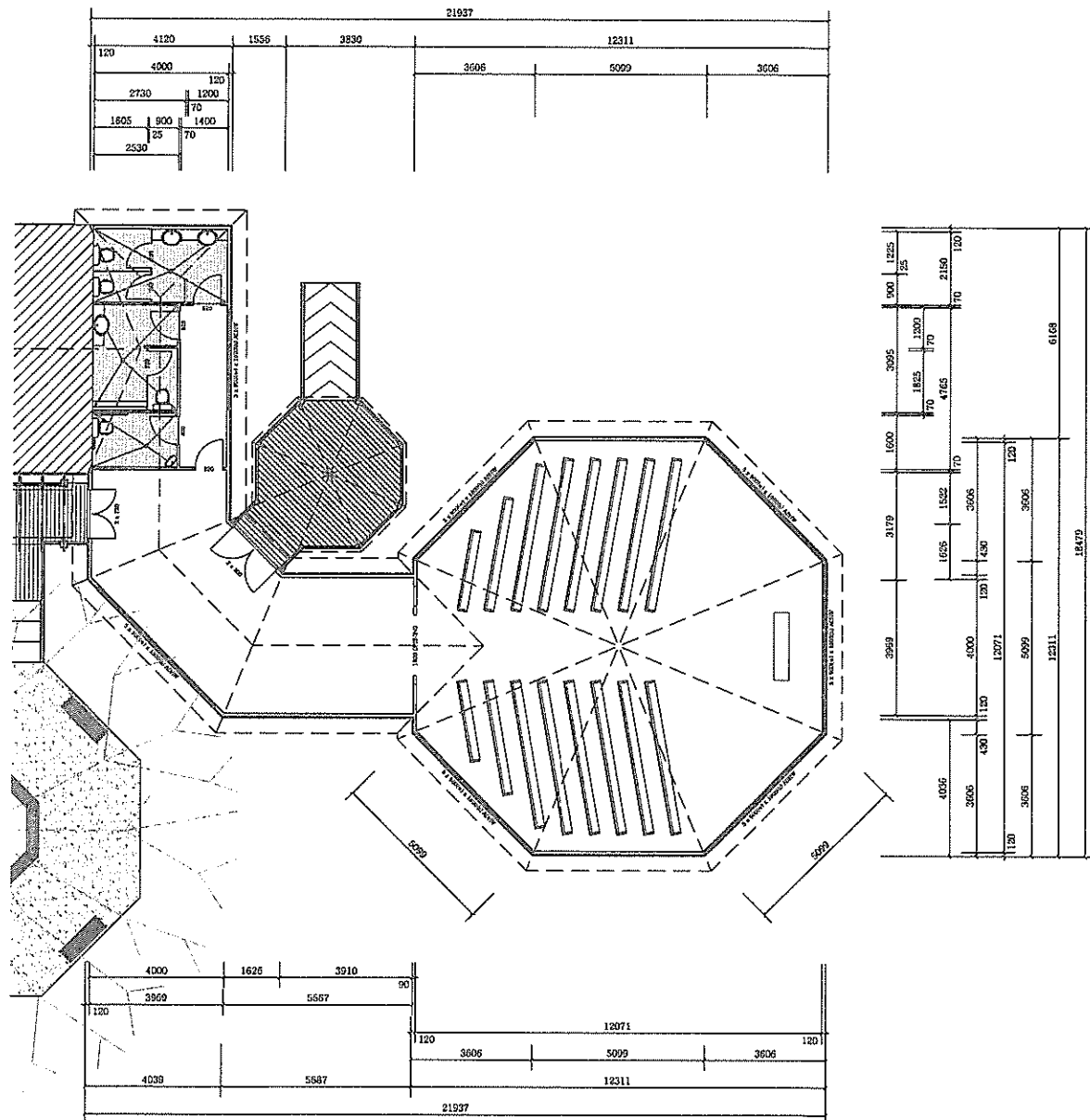
SITE PLAN  
SCALE: 1:200

AREAS		AMENITIES		SITE LEGEND		LANDSCAPING LEGEND	
CHAPEL AREA	= 125.0 sq.m.	LADIES	2 x PAN	2 x BASIN	CONCRETE DRIVEWAY	EXISTING VEGETATION	SEE DETAIL SURVEY FOR SPECIFIC INFORMATION
FOYER AREA	= 46.0 sq.m.	GENTS	1 x PAN	1 x URINAL	EXISTING DEVELOPED AREA - SINGLE STOREY	PROPOSED VEGETATION	SEMI ADVANCED SCREENING SPECIES APPROXIMATELY 4.0 - 6.0m MATURE HEIGHT
AMENITIES AREA	= 30.0 sq.m.	UNISEX	1 x PAN	1 x BASIN	PROPOSED DEVELOPED AREA - SINGLE STOREY	SPECIES TO BE IDENTIFIED DURING CC STAGE	
TOTAL PROPOSED BUILDING AREA	= 201.0 sq.m.	CAR PARKING		26 SPACES	GRASSED AREA		
PROPOSED DECK AREA (including walkway)	= 75.0 sq.m.	INTERNAL SPACES		3 SPACES	GRAVEL AREA		
EXISTING BUILDING AREA (including shed)	= 269.0 sq.m.	EXTERNAL SPACES (including 3 disabled spaces)		26 SPACES	OTHER HARDSTAND AREAS (eg PATHS, etc)		
EXISTING DECK AREA	= 24.0 sq.m.				TIMBER DECKING		
					WATERTANKS		

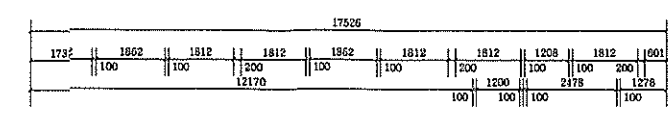
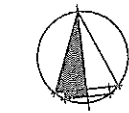
**PRELIMINARY**  
DESIGN FOR DA APPROVAL ONLY

DATE	AMENDMENT	INITIAL	LEGEND:	<p>LAND DEVELOPMENT CONSULTANTS Suite 3/5 Edward St, PO Box 627, CESSNOCK NSW 2325 P: (02) 4991 7171 - F: (02) 4991 7272 E: admin@acmlandmark.com.au</p>	SCALE:	1:200	CLIENT:	Bowden Family Funerals Mrs Anita Bowden PO Box 786 WYONG NSW 2259	TITLE:	Proposed Chapel Lot 20, DP 1052634 457 Pacific Highway WADALBA NSW 2259
					DATUM:	AHD				
					DATE:	June 2008				
23.06.08	A - ORIGINAL ISSUE TO CLIENT FOR REVIEW & APPROVAL	CL			DRAWN:	CL	COPYRIGHT	"This document is and shall remain the property of ACM Landmark Pty Ltd. The Document may only be used for the purposes for which it was commissioned and in accordance with the Terms of Engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited."	SHEET NO:	1 OF 4
					DESIGNED:	CL			DRAWING NO:	0975-A001





CHAPEL FLOOR PLAN  
SCALE: 1:100



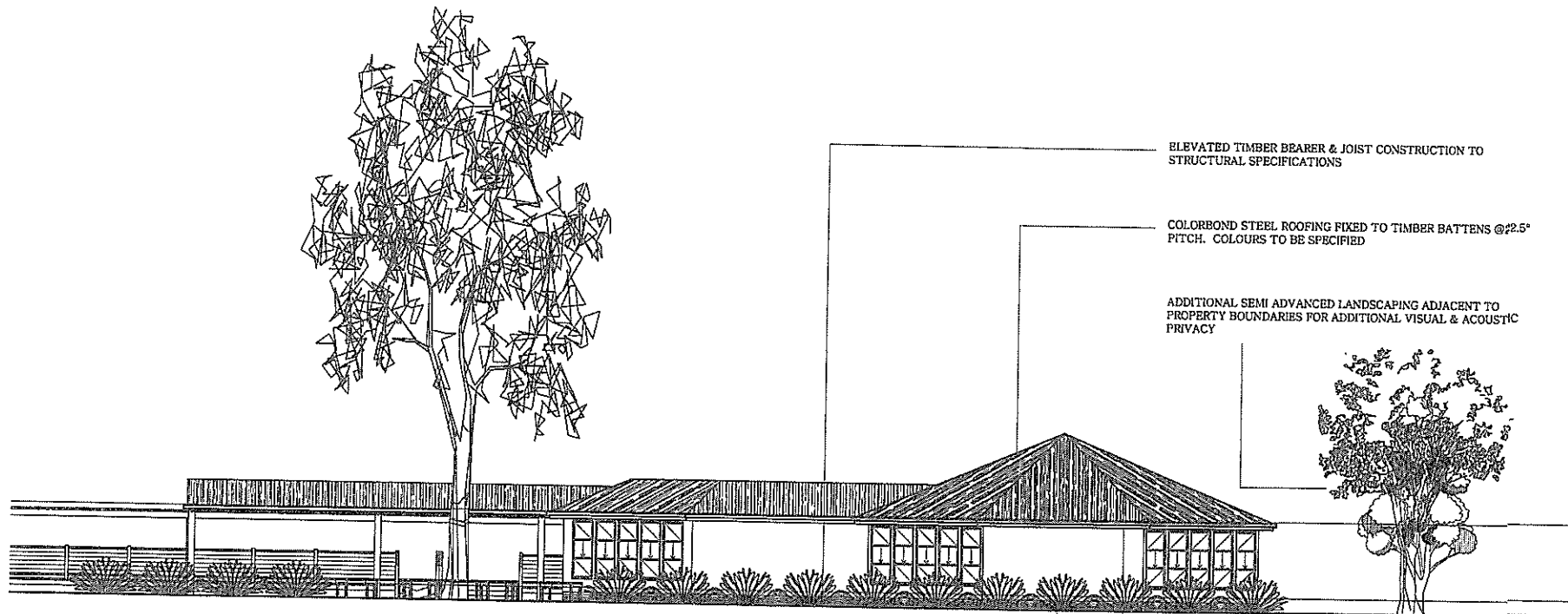
PERGOLA PLAN  
SCALE: 1:100

**PRELIMINARY**  
DESIGN FOR DA APPROVAL ONLY

DATE	AMENDMENT	INITIAL	LEGEND:	 Suite 3/5 Edward St, PO Box 627, GERRINGBEE NSW 2225 P: (02) 4931 7171 - F: (02) 4931 7672 E: 2dipin@acm.landmark.com.au	SCALE:	1:100	CLIENT:	Bowden Family Funerals Mrs Anita Bowden PO Box 786 WYONG NSW 2259	TITLE:	Proposed Chapel Lot 20, DP 1052634 457 Pacific Highway WADALBA NSW 2259			
					DATUM:	AHD			DRAWN:	DW	SHEET NO:	2 OF 4	
					DATE:	June 2008					DESIGNED:	CL	DRAWING NO:
23.06.08	A - ORIGINAL ISSUE TO CLIENT FOR REVIEW & APPROVAL	DW											

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REV: A

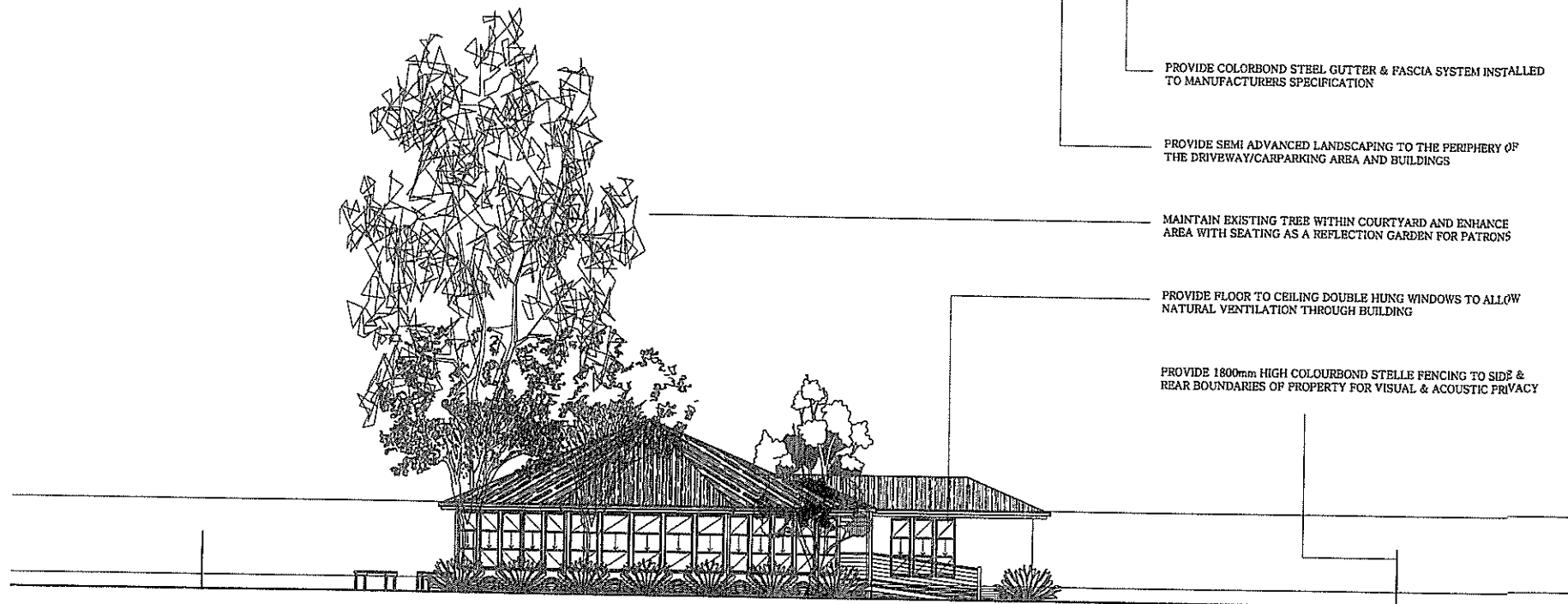


ELEVATED TIMBER BEARER & JOIST CONSTRUCTION TO STRUCTURAL SPECIFICATIONS

COLORBOND STEEL ROOFING FIXED TO TIMBER BATTENS @22.5° PITCH. COLOURS TO BE SPECIFIED

ADDITIONAL SEMI ADVANCED LANDSCAPING ADJACENT TO PROPERTY BOUNDARIES FOR ADDITIONAL VISUAL & ACOUSTIC PRIVACY

CHAPEL FLOOR PLAN  
SCALE: 1:100



PROVIDE COLORBOND STEEL GUTTER & FASCIA SYSTEM INSTALLED TO MANUFACTURERS SPECIFICATION

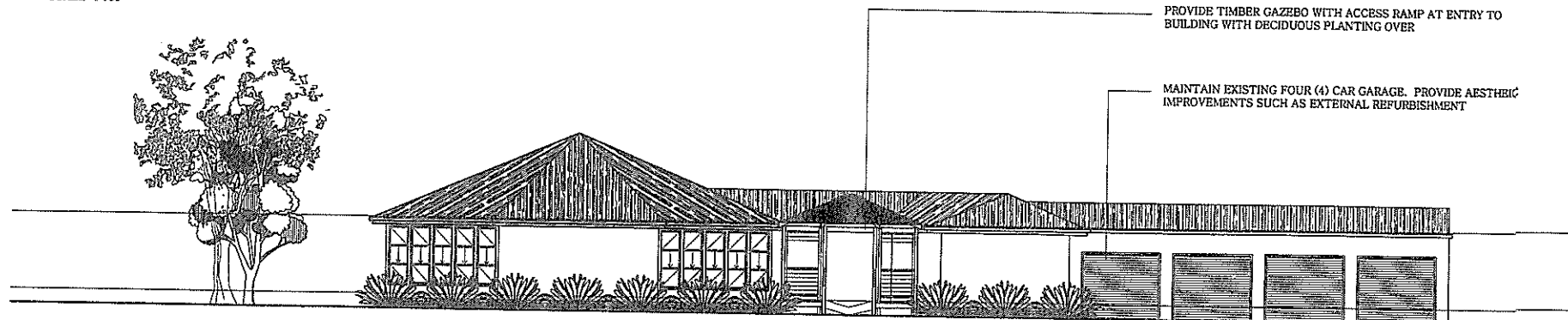
PROVIDE SEMI ADVANCED LANDSCAPING TO THE PERIPHERY OF THE DRIVEWAY/CARPARKING AREA AND BUILDINGS

MAINTAIN EXISTING TREE WITHIN COURTYARD AND ENHANCE AREA WITH SEATING AS A REFLECTION GARDEN FOR PATRONS

PROVIDE FLOOR TO CEILING DOUBLE HUNG WINDOWS TO ALLOW NATURAL VENTILATION THROUGH BUILDING

PROVIDE 1800mm HIGH COLOURBOND STEEL FENCING TO SIDE & REAR BOUNDARIES OF PROPERTY FOR VISUAL & ACOUSTIC PRIVACY

PERGOLA PLAN  
SCALE: 1:100



PROVIDE TIMBER GAZEBO WITH ACCESS RAMP AT ENTRY TO BUILDING WITH DECIDUOUS PLANTING OVER

MAINTAIN EXISTING FOUR (4) CAR GARAGE. PROVIDE AESTHETIC IMPROVEMENTS SUCH AS EXTERNAL REFURBISHMENT

CHAPEL FLOOR PLAN  
SCALE: 1:100

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LEGEND:

DATE	AMENDMENT	INITIAL
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SCALE: 1:100      DATUM: AHD

DATE: June 2008

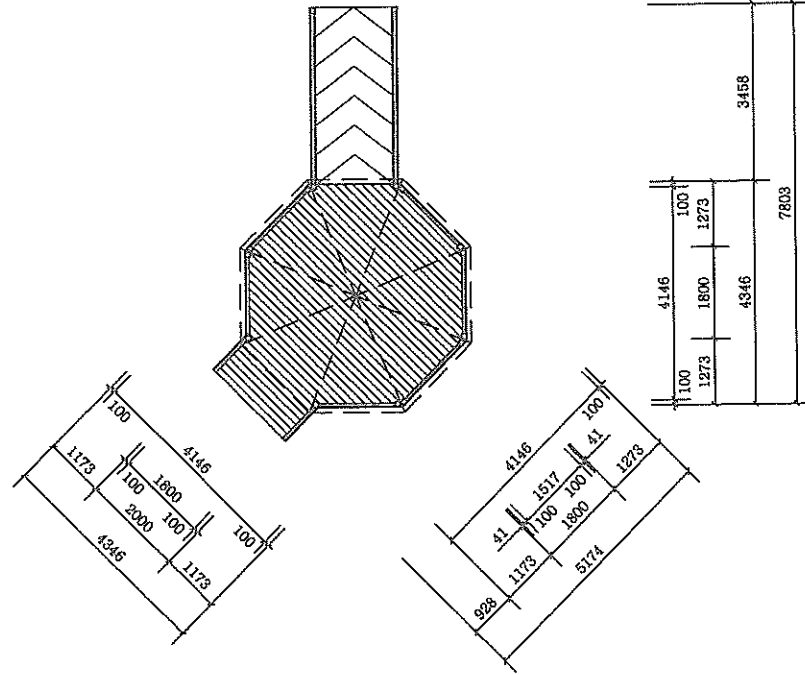
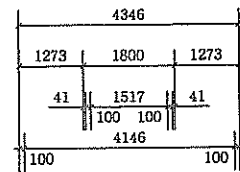
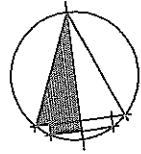
DRAWN: DW      DESIGNED: CL

CLIENT:  
Bowden Family Funerals  
Mrs Anita Bowden  
PO Box 786  
WYONG NSW 2259

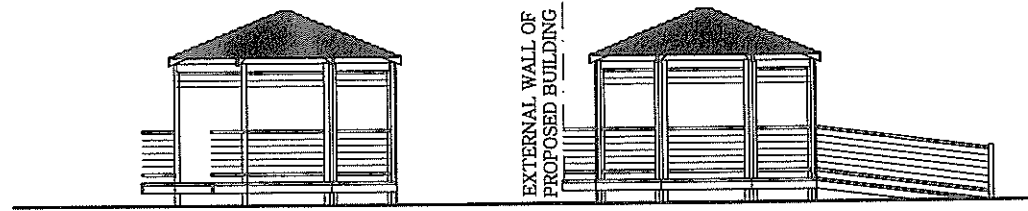
TITLE:  
Proposed Chapel  
Lot 20, DP 1052634  
457 Pacific Highway  
WADALBA NSW 2259

SHEET NO: 3 OF 4      REV: A

DRAWING NO: 0975-A001

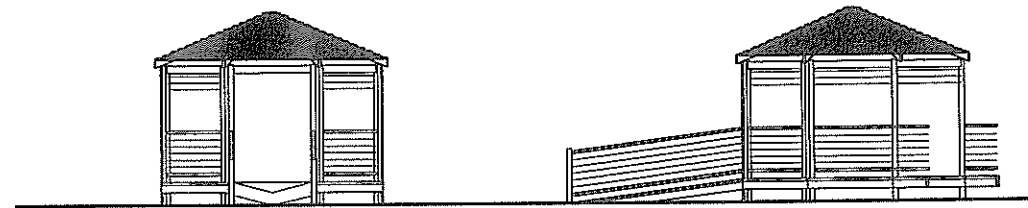


PERGOLA PLAN  
SCALE: 1:100



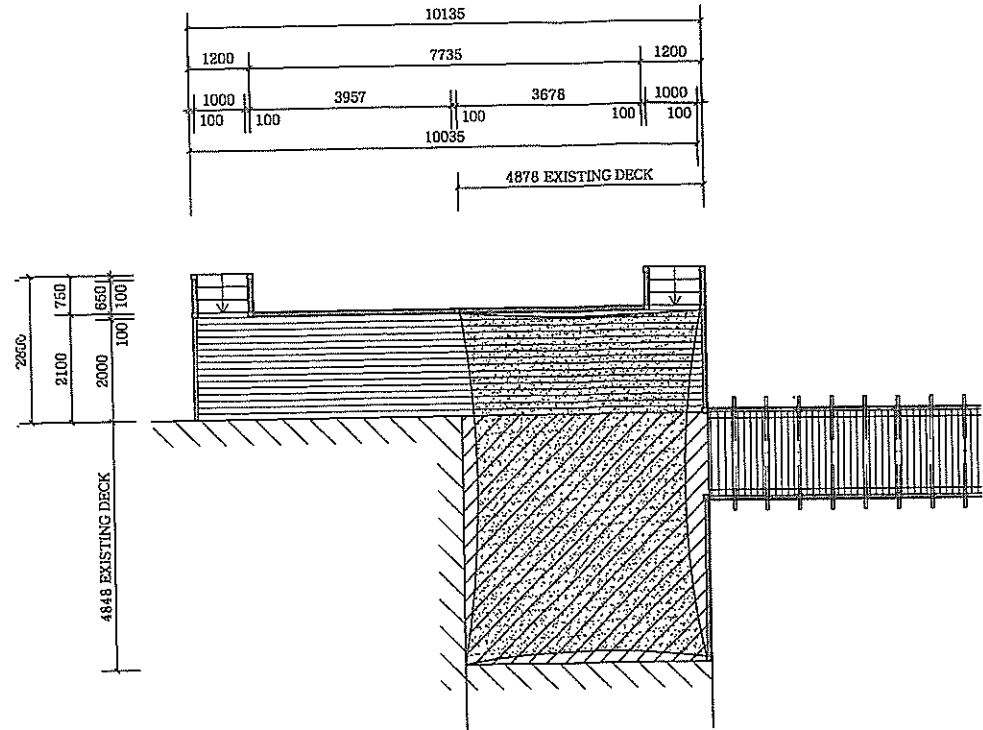
SOUTHERN ELEVATION  
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EASTERN ELEVATION  
SCALE: 1:100

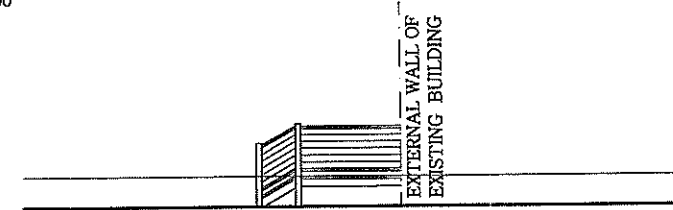


NORTHERN ELEVATION  
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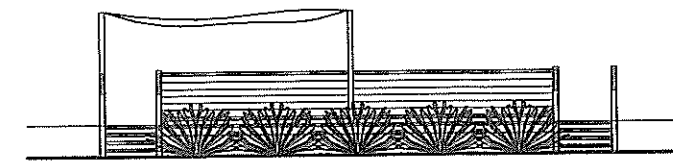
WESTERN ELEVATION  
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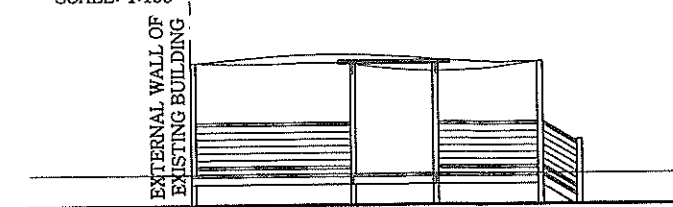
DECK EXTENSION PLAN  
SCALE: 1:100



WESTERN ELEVATION  
SCALE: 1:100



NORTHERN ELEVATION  
SCALE: 1:100



EASTERN ELEVATION  
SCALE: 1:100

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DATE	AMENDMENT	INITIAL	LEGEND:
2306.08	A - ORIGINAL ISSUE TO CLIENT FOR REVIEW & APPROVAL	DW	

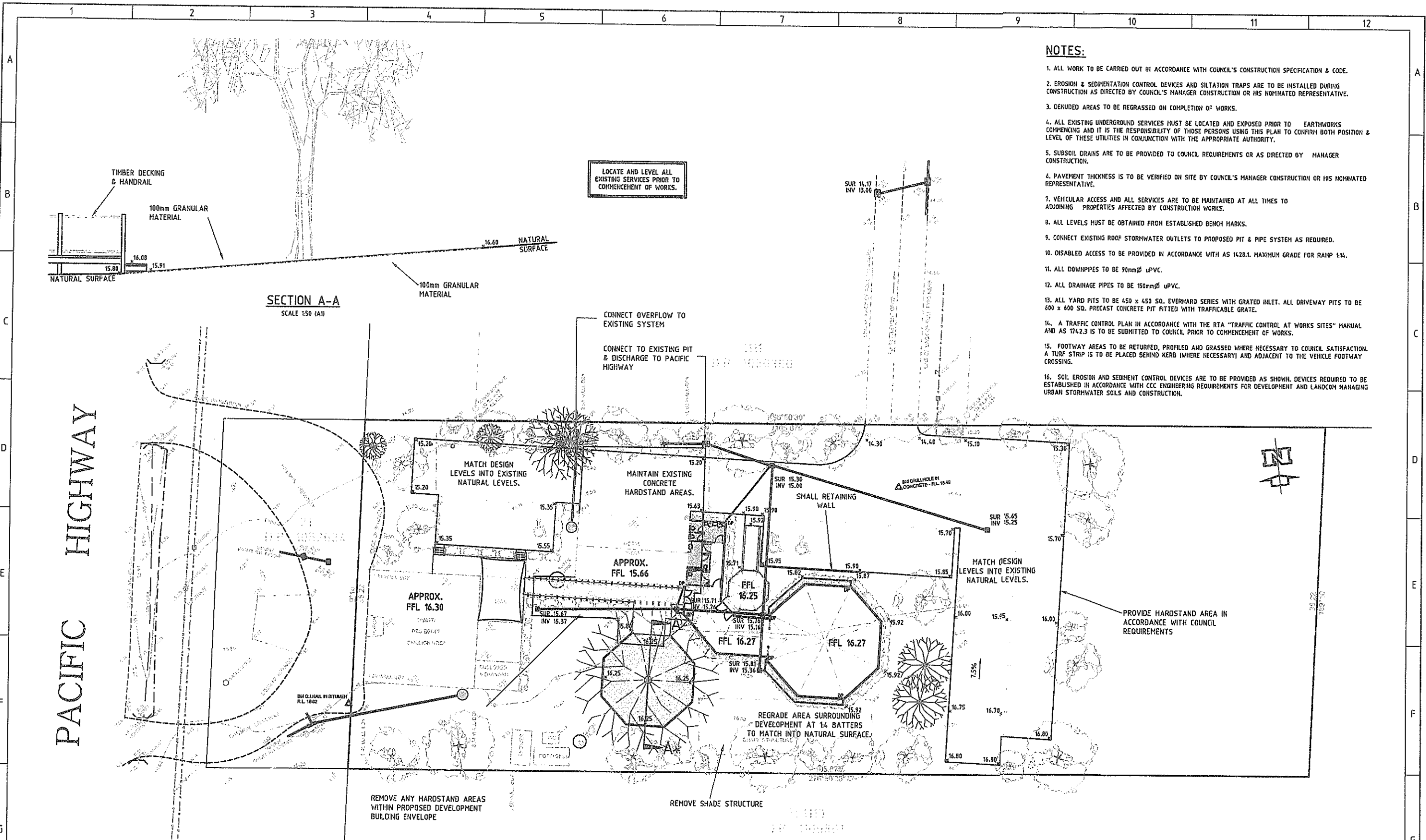
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E: admin@acmlandmark.com.au

SCALE:	1:100
DATUM:	AHD
DATE:	June 2008
DRAWN:	DW
DESIGNED:	CL

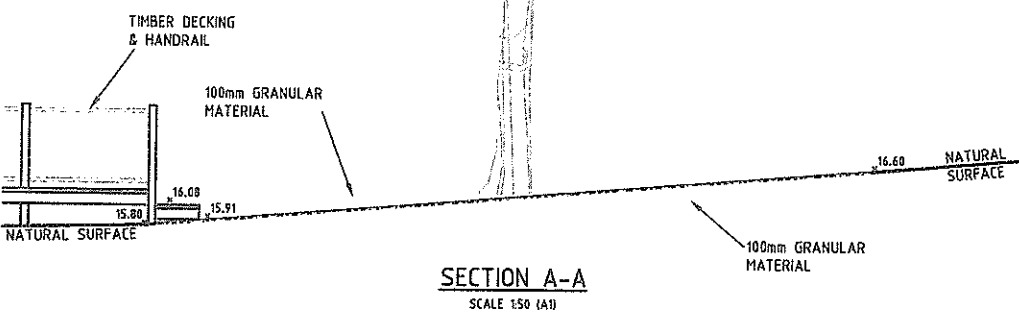
CLIENT:  
Bowden Family Funerals  
Mrs Anita Bowden  
PO Box 786  
WYONG NSW 2259

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TITLE:	Proposed Chapel Lot 20, DP 1052634 457 Pacific Highway WADALBA NSW 2259	
SHEET NO:	4 OF 4	REV: A
DRAWING NO:	0975-A001	



- NOTES:**
1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATION & CODE.
  2. EROSION & SEDIMENTATION CONTROL DEVICES AND SILTATION TRAPS ARE TO BE INSTALLED DURING CONSTRUCTION AS DIRECTED BY COUNCIL'S MANAGER CONSTRUCTION OR HIS NOMINATED REPRESENTATIVE.
  3. DENUDED AREAS TO BE REGRASSED ON COMPLETION OF WORKS.
  4. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING AND IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.
  5. SUBSOIL DRAINS ARE TO BE PROVIDED TO COUNCIL REQUIREMENTS OR AS DIRECTED BY MANAGER CONSTRUCTION.
  6. PAVEMENT THICKNESS IS TO BE VERIFIED ON SITE BY COUNCIL'S MANAGER CONSTRUCTION OR HIS NOMINATED REPRESENTATIVE.
  7. VEHICULAR ACCESS AND ALL SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS.
  8. ALL LEVELS MUST BE OBTAINED FROM ESTABLISHED BENCH MARKS.
  9. CONNECT EXISTING ROOF STORMWATER OUTLETS TO PROPOSED PIT & PIPE SYSTEM AS REQUIRED.
  10. DISABLED ACCESS TO BE PROVIDED IN ACCORDANCE WITH AS 1428.1. MAXIMUM GRADE FOR RAMP 1:14.
  11. ALL DOWNPIPES TO BE 90mm Ø uPVC.
  12. ALL DRAINAGE PIPES TO BE 150mm Ø uPVC.
  13. ALL YARD PITS TO BE 450 x 450 SQ. EVERHARD SERIES WITH GRATED INLET. ALL DRIVEWAY PITS TO BE 600 x 600 SQ. PRECAST CONCRETE PIT FITTED WITH TRAFFICABLE GRATE.
  14. A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE RTA "TRAFFIC CONTROL AT WORKS SITES" MANUAL AND AS 1742.3 IS TO BE SUBMITTED TO COUNCIL PRIOR TO COMMENCEMENT OF WORKS.
  15. FOOTWAY AREAS TO BE RETURNED, PROFILED AND GRASSED WHERE NECESSARY TO COUNCIL SATISFACTION. A TURF STRIP IS TO BE PLACED BEHIND KERB (WHERE NECESSARY) AND ADJACENT TO THE VEHICLE FOOTWAY CROSSING.
  16. SOIL EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PROVIDED AS SHOWN. DEVICES REQUIRED TO BE ESTABLISHED IN ACCORDANCE WITH CCC ENGINEERING REQUIREMENTS FOR DEVELOPMENT AND LANDMANAGING URBAN STORMWATER SOILS AND CONSTRUCTION.



LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS.

CONNECT OVERFLOW TO EXISTING SYSTEM  
CONNECT TO EXISTING PIT & DISCHARGE TO PACIFIC HIGHWAY

**PLAN**  
SCALE 1:200 (A1)  
CONTOUR INTERVAL 0.25m

**LEGEND**

70.00 x	FINISHED SURFACE LEVEL	△	BENCH MARK
FGL 70.00	FINISHED GARAGE LEVEL	—	RETAINING WALL
FFL 70.00	FINISHED FLOOR LEVEL	—	150mm RETAINING WALL CUT TO NATURAL SURFACE
⊗	GRATED INLET PIT AND PIT LABEL	—	150mm RETAINING WALL FILL TO NATURAL SURFACE
—	DOWNPIPE & 90mm uPVC PIPE	—	150mm HIGH RETAINING WALL

**\*\*\*WARNING\*\*\***  
The location of existing public utilities shown on these drawings is approximate only and in some cases may be inaccurate or incomplete. No responsibility is accepted for any guarantee made as to the accuracy of the location shown that have been plotted from information provided by the relevant public utility authorities. The attention of the user of these drawings is directed to the possible existence of underground public utilities and private services lines not shown or at locations different from those shown on these drawings. It is the responsibility of those persons using these drawings to confirm the existence of all public utilities and private services lines within the vicinity of the works in conjunction with the relevant public utility authority and/or by physical location.

**FOR APPROVAL**



AutoCAD FILE:  
ACMDOCUMENTS/PA/E/0975/CADRAW/975-A01.dwg  
CIVILCAD FILE:  
ACMDOCUMENTS/PA/  
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No.	Date	Amendment Details	Initial	No.	Date	Amendment Details	Initial
A	02.07.08	ORIGINAL TO CLIENT FOR APPROVAL	DW				

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LAND DEVELOPMENT CONSULTANTS  
Suite 3/6 Edward St, PO Box 627, CRESSWOOD NSW 2252  
P: (02) 4991 7171 - F: (02) 4991 7272 - E: admin@ocmlandmark.com.au  
Client: BOWDEN FAMILY FUNERALS

Surveyed by: ROLLS & ASSOCIATES  
Geotechnical by:  
Datum: AHD  
Coord: ASSUMED  
Designed: CP  
Checked: CP  
Drawn: DW  
Approved: CP

Job Name: **PROPOSED CHAPEL**  
LOT 20, DP 1052634  
467 PACIFIC HIGHWAY  
WADALBA NSW 2259  
Scale: AS SHOWN Drawing No. 975-A01

Title: **SITE GRADING AND DRAINAGE PLAN**  
Sheet No. 1 OF 1 Amdt. A