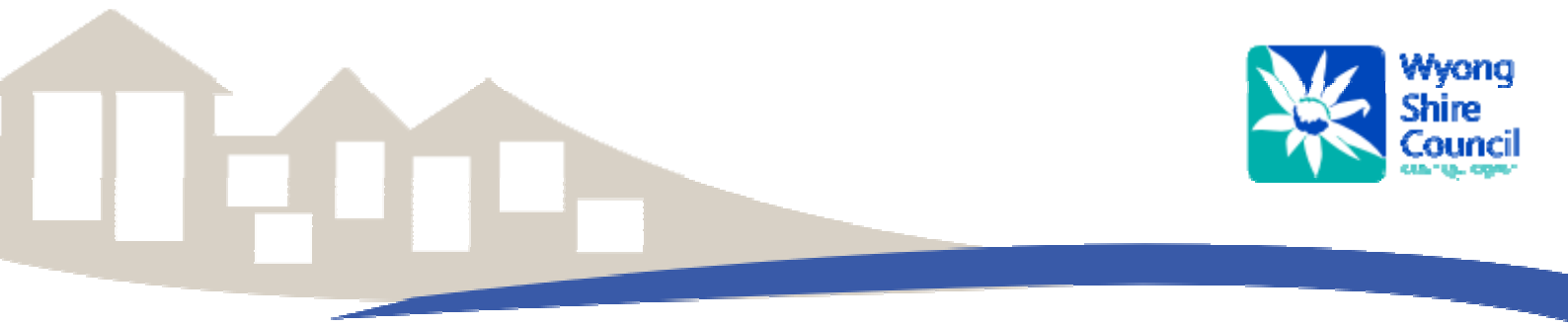


Wyong Shire Council

## **ORDINARY COUNCIL MEETING**

### **ENCLOSURES**

Wednesday, 13 June, 2012

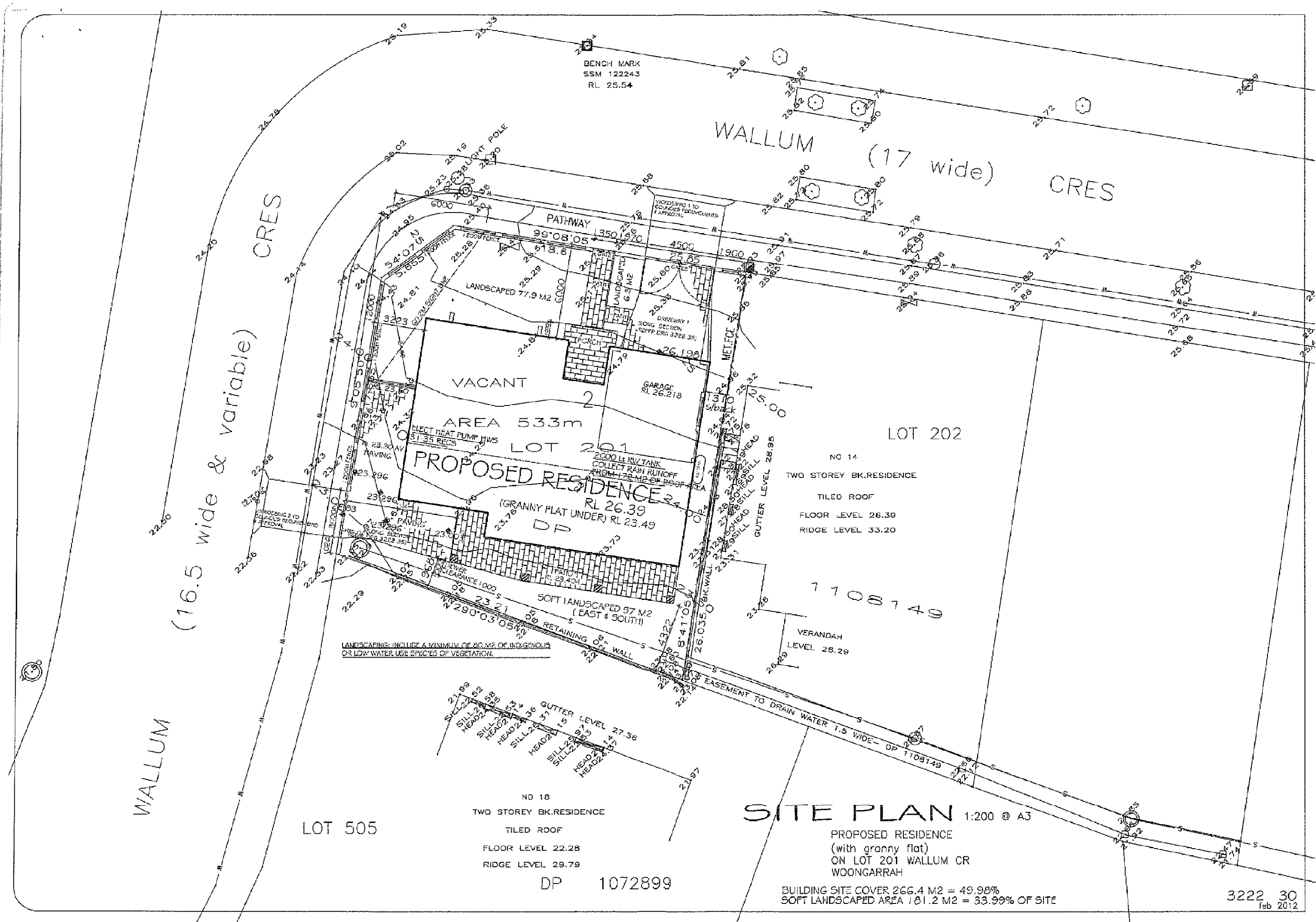


**WYONG SHIRE COUNCIL**  
**ENCLOSURES TO THE**  
**ORDINARY COUNCIL MEETING**  
 TO BE HELD IN THE COUNCIL CHAMBER,  
 WYONG CIVIC CENTRE, HELY STREET, WYONG  
 ON WEDNESDAY, 13 JUNE 2012 ,  
 COMMENCING AT 5:00 PM

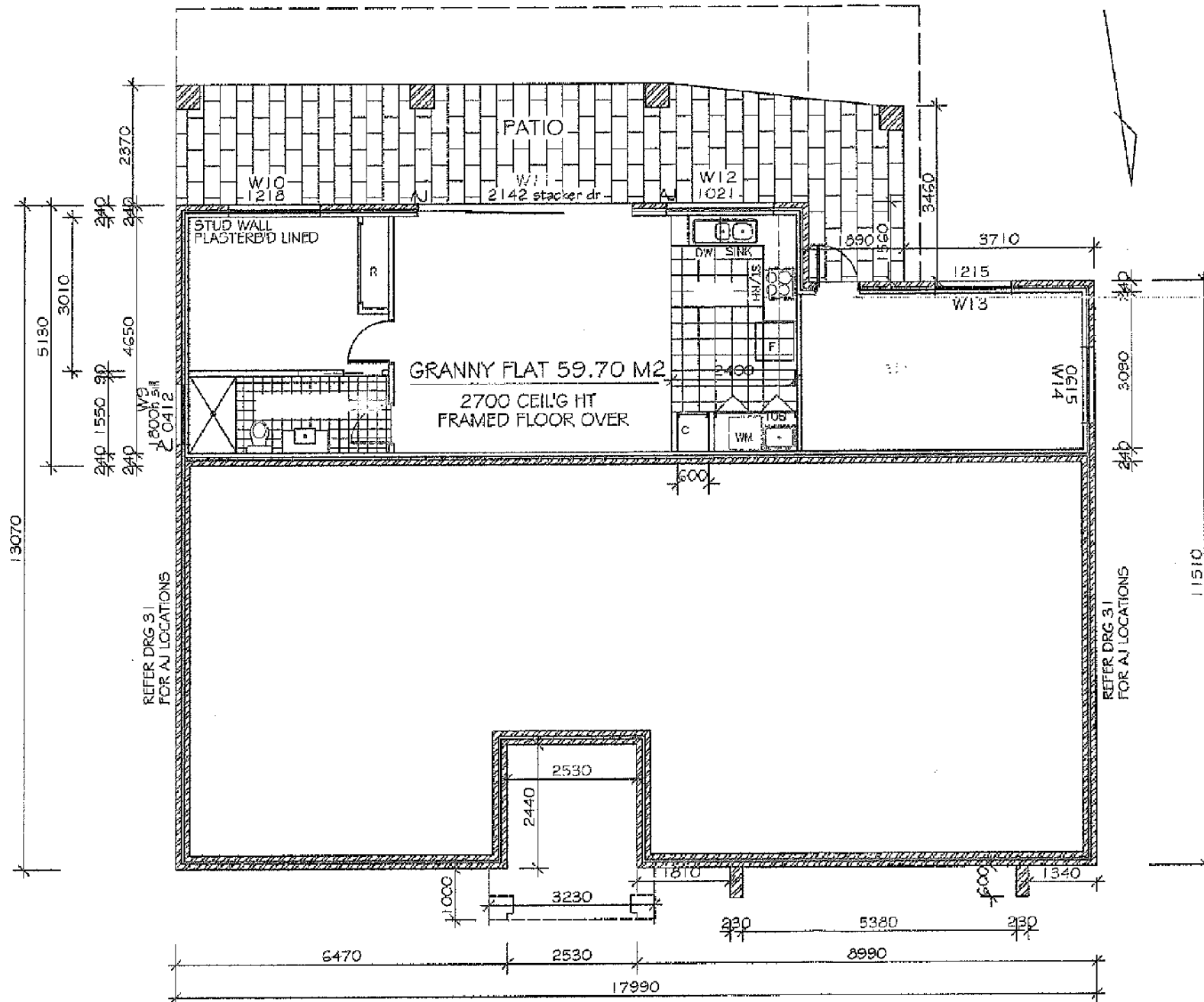
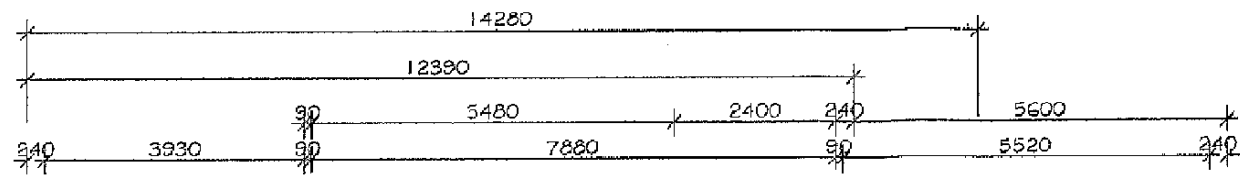
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**REVISION**  
 A. Brick veneered construction to Granny Flat  
 Framed floor at upper level.



**LOWER GR FL PLAN**  
 GRANNY FLAT 59.70 M2

GROSS AREA OF DWELLING 327.7 M2

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**SPECIFICATION NOTES**

This drawing shall be read in conjunction with Council's Conditions of Approval and all other drawings and documents, including consultants', of set.

The Builder shall be responsible for verifying all dimensions, ground and floor levels including those of existing BEFORE commencing any work. All ground levels shown on drawing are indicative only.

This drawing shall not be used for construction purposes until a construction certificate application is submitted to and approved by the local authority or a private accredited certifier.

Use given dimensions and angles in preference to scale.

It is strongly recommended that a registered surveyor define the corners of the proposed building/s in accordance with Council approved plans prior to Builder setting out. Owner/s to approve position prior to commencing work.

All work shall conform to the Building Code of Australia, Council's conditions of approval, specifications, consultants' details, all relevant codes and requirements of all authorities having jurisdiction over the works.

Structural work shown are indicative only. The provision of structural details is not within the scope of an architectural service. If structural details are required, it is the responsibility of the Builder or Owner-builder to arrange for these to be provided by a structural engineer.

The Builder shall be responsible for checking that all timber sizes shown are in accordance with AS1634-2010 Residential Timber Framed Construction and amendments thereto and apply thereafter.

Steel frame structures shall be in accordance with AS 3023-1993 and AS 4600-2005 (Cold formed steel structure). Ventilation, clearance and access for inspection of structure shall be in accordance with AS 3600.1.

Positions of downpipes, unless indicated, shall be determined on site and to approval.

All gutters and down pipes shall be installed in accordance with AS3556.3 sections 3.4 & part 5.

All work to be performed in a good and workmanlike manner. Faulty or unsuitable materials shall not be used.

All external fixings shall be hot dipped galvanized.

For work involving Additions and/or Alterations, the builder shall allow and be responsible for making good and/or other existing structures including roofs as necessary and/or required for the proper erection and completion of proposed works. Make good existing affected by proposed works and finished to match.

All finishes, including electrical layout, shall be determined by Owner/s prior to tendering or quoting by Builder.

Treads, risers and balustrades to comply with part 3.9.1 & Part 3.9.2 of the B.C.A.

Balustrading is to be a minimum of 1000 high and any openings are not to exceed 125mm.

Glass doors and fixed panels are to comply with the requirements of AS 1288. Windows to AS 2047.

Protection of buildings from subterranean termites shall be in accordance with Part 3.1.3 of the B.C.A. and the requirements of the A.S. 3660.1 and all amendments thereto.

Waterproofing of wet areas in the building shall be carried out in accordance with part 3.8.1 of the B.C.A. and AS 3740.

An automatic fire detection and alarm system shall be installed in the building (within each floor and within vicinity to bedrooms) in accordance with Part 3.7.2 of the Building Code of Australia and AS 3786.

Demolition works shall be carried out in accordance with AS 2601 'The Demolition of Structures'.

Masonry: All masonry works shall comply with the provisions of AS 3700.

Provide steel work in accordance with Engineer's details.

Provide and erect framing in accordance with AS 3623.

Roof covering shall comply with AS 2049- roof tiles/AS2050 installation of roofing tiles.

Sheet roofing and wall cladding shall comply with AS1562.

External wall sheeting shall be installed in a manner that will prevent the entry of moisture and to comply with clause 3.5.3 of the B.C.A.

Swimming pool safety shall be in accordance with AS1628.

All Balc commitments must be complied with. The attached Balc Certificate No. shall form part of this drawing and part of the specification for this project.

**project:**  
 PROPOSED RESIDENCE  
 (with granny flat)  
 ON LOT 201 WALLUM CR  
 WOONGARRAH

 **plan concepts pty ltd**  
 ABN 79 002 126 758

T : (02) 9481 8465

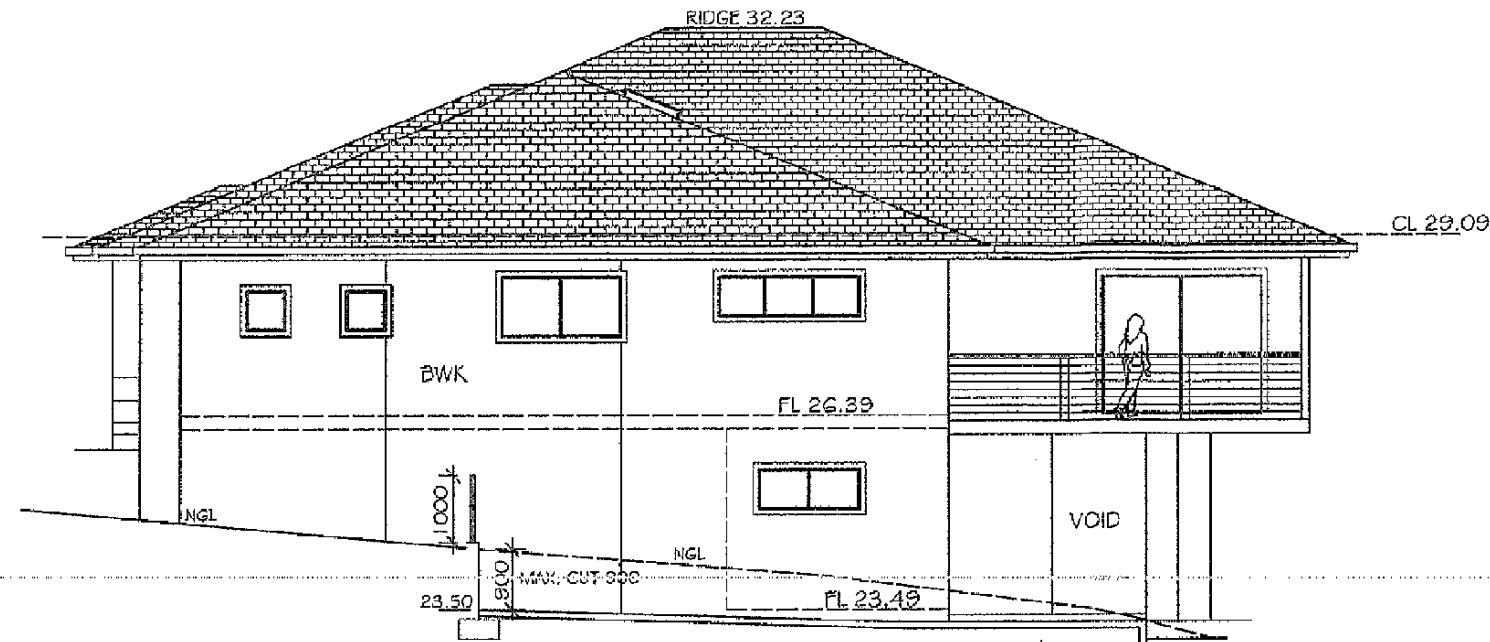
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Date: FEB 2012

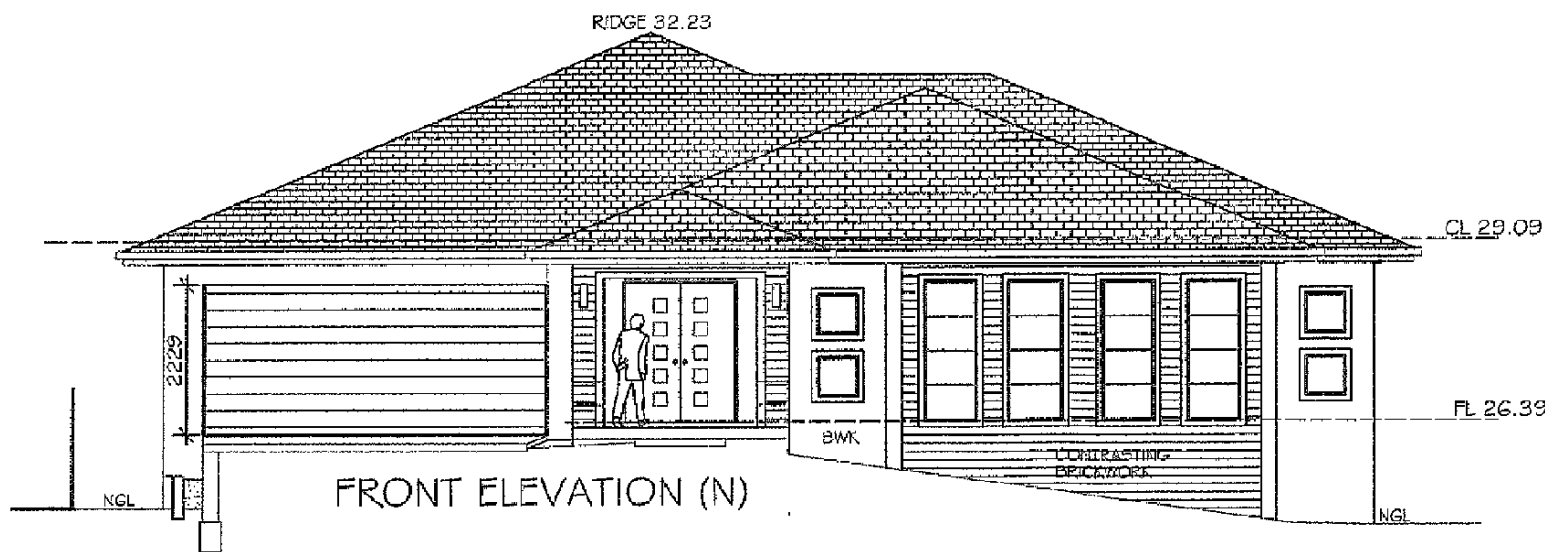
Project No: 3222

Sheet No: 32A

**REVISION**  
 A. Brck veneered construction to Granny Flat  
 Framed floor at upper level.



SIDE ELEVATION (W)



FRONT ELEVATION (N)

**SPECIFICATION NOTES**

This drawing shall be read in conjunction with Council's Conditions of Approval and all other drawings and documents, including consultants', of set.

The Builder shall be responsible for verifying all dimensions, ground and floor levels including those of existing BEFORE commencing any work. All ground levels shown on drawing are indicative only.

This drawing shall not be used for construction purposes until a construction certificate application is submitted to and approved by the local authority or a private accredited certifier.

Use given dimensions and angles in preference to scale.

It is strongly recommended that a registered surveyor define the corners of the proposed building/s in accordance with Council approved plans prior to Builder setting out. Owner/s to approve position prior to commencing work.

All work shall conform to the Building Code of Australia, Council's conditions of approval, specifications, consultants' details, all relevant codes and requirements of all authorities having jurisdiction over the works.

Structural work shown are indicative only. The provision of structural details is not within the scope of an architectural service. If structural details are required, it is the responsibility of the Builder or Owner-builder to arrange for these to be provided by a structural engineer.

The Builder shall be responsible for checking that all timber sizes shown are in accordance with AS1684-2010 Residential Timber Framed Construction and its amendments thereto and apply thereafter. Steel frame structure shall be in accordance with AS 3600-1983 and AS 4680-2005 (Cold formed steel structures).

Ventilation, clearance and access for inspection of subfloor shall be in accordance with AS 3683.

Positions of downpipes, unless indicated, shall be determined on site and to approval.

All gutters and down pipes shall be installed in accordance with AS3500.3 sections 3,4 & part 5.

All work to be performed in a good and workmanlike manner. Faulty or unsuitable materials shall not be used.

All external fixings shall be hot dipped galvanized.

For work involving Additions and/or Alterations, the builder shall allow and be responsible for making good and/or alter existing structures including roofs as necessary and/or required for the proper erection and completion of proposed works. Make good existing affected by proposed works and finished to match.

All finishes, including electrical layout, shall be determined by Owner/s prior to tendering or quoting by Builder.

Trades, classes and balustrades to comply with part 3.9.1 & Part 3.9.2 of the B.C.A.

Balustrading is to be a minimum of 1000 high and any openings are not to exceed 125mm.

Glass doors and fixed panels are to comply with the requirements of AS 1288. Windows to AS 2047.

Protection of buildings from subterranean termites shall be in accordance with Part 3.1.3 of the B.C.A. and the requirements of the A.S. 3660.1 and all amendments thereto.

Waterproofing of wet areas in the building shall be carried out in accordance with part 3.0.1 of the B.C.A. and AS 3740.

An automatic fire detection and alarm system shall be installed in the building (within each floor and within vicinity to bedrooms) in accordance with Part 3.7.2 of the Building Code of Australia and AS 3788.

Demolition works shall be carried out in accordance with AS 2601 'The Demolition of Structures'.

Masonry: All masonry works shall comply with the provisions of AS 3700.

Provide steel work in accordance with Engineer's details.

Provide and erect framing in accordance with AS 3623.

Roof covering shall comply with AS 2049— roof tiles/AS2050 installation of roofing tiles.

Sheet roofing and wall cladding shall comply with AS1582.

External wall sheathing shall be installed in a manner that will prevent the entry of moisture and to comply with clause 3.5.3 of the B.C.A.

Swimming pool safety shall be in accordance with AS1926.

All Basix commitments must be complied with.

The attached Basix Certificate No. shall form part of this drawing and part of the specification for this project.

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project:  
 PROPOSED RESIDENCE  
 (with granny flat)  
 ON LOT 201 WALLUM CR  
 WOONGARRAH

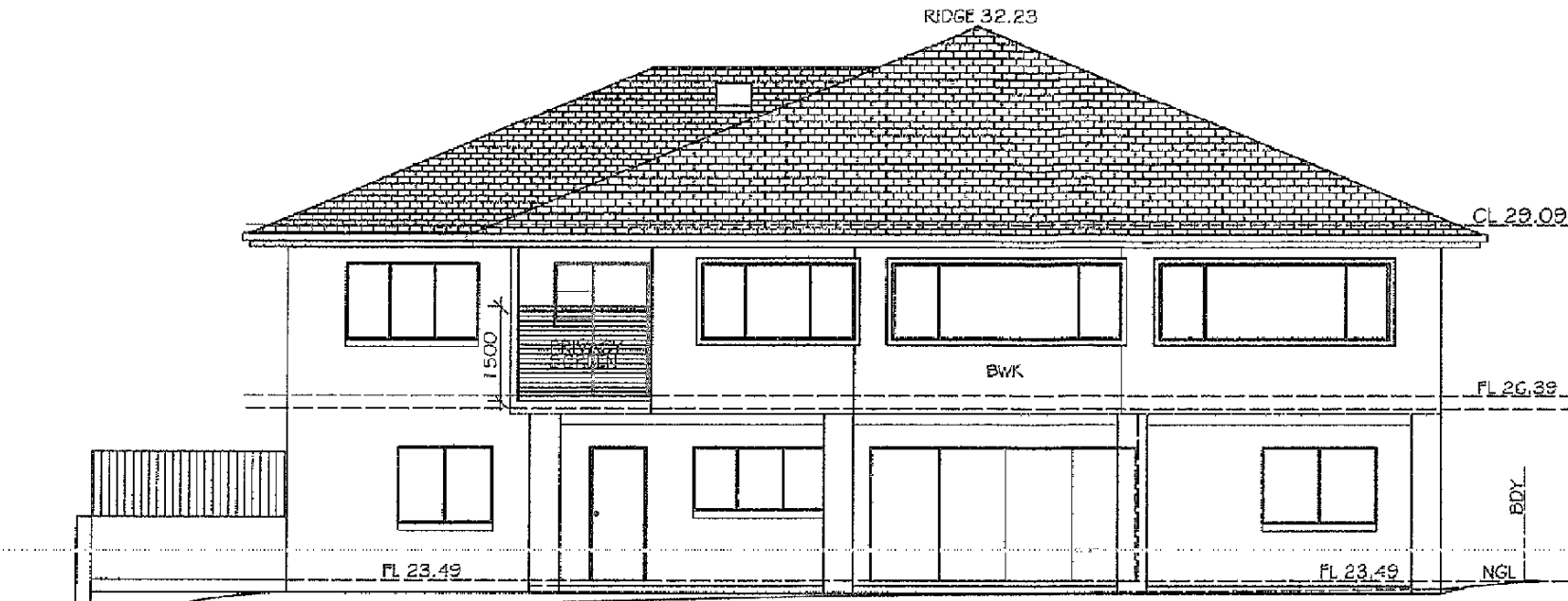
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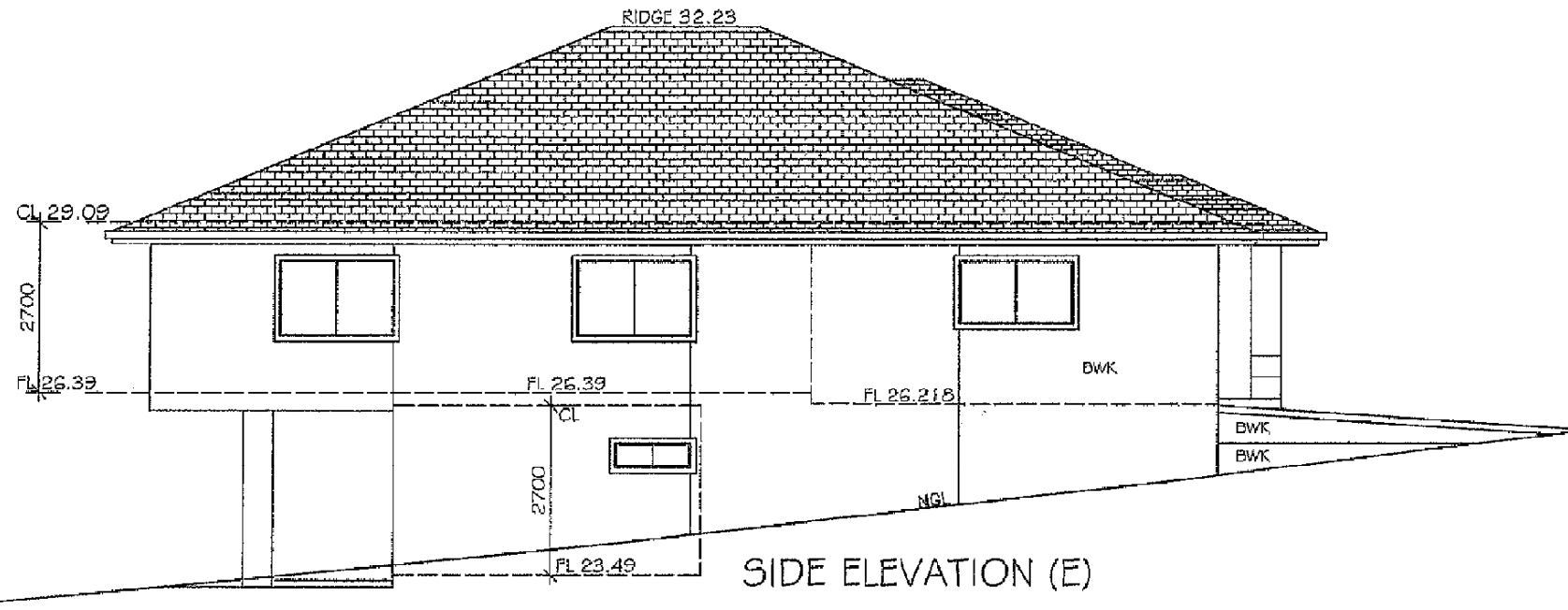
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 Date: FEB 2012  
 Drawing No: 3222-33A

REVISION

A. Brick veneered construction to Granny Flat  
Framed floor at upper level.



REAR ELEVATION (S)



SIDE ELEVATION (E)

SPECIFICATION NOTES

This drawing shall be read in conjunction with Council's Conditions of Approval and all other drawings and documents, including consultants', of set.

The Builder shall be responsible for verifying ALL dimensions, ground and floor levels including those of existing BEFORE commencing any work. All ground levels shown on drawing are indicative only.

This drawing shall not be used for construction purposes until a construction certificate application is submitted to and approved by the local authority or a private accredited certifier.

Use given dimensions and angles in preference to scale.

It is strongly recommended that a registered surveyor define the corners of the proposed building/s in accordance with Council approved plans prior to Builder setting out. Owner/s to approve position prior to commencing work.

All work shall conform to the Building Code of Australia, Council's conditions of approval, specifications, consultants' details, all relevant codes and requirements of all authorities having jurisdiction over the works.

Structural work shown are indicative only. The provision of structural details is not within the scope of an architectural services. If structural details are required, it is the responsibility of the Builder or Owner-builder to arrange for these to be provided by a structural engineer.

The Builder shall be responsible for checking that all timber sizes shown are in accordance with AS1864-2010 Residential Timber Framed Construction and its amendments thereto and apply thereafter.

Steel frame structure shall be in accordance with AS 3203-1993 and AS 1600-2006 (Cold formed steel structures). Ventilation, clearance and access for inspection of subsoil shall be in accordance with AS 3600.1

Positions of downpipes, unless indicated, shall be determined on site and to approval. All gutters and down pipes shall be installed in accordance with AS3600.3 sections 3.4 & part 5.

All work to be performed in a good and workmanlike manner. Faulty or unsuitable materials shall not be used.

All external fixings shall be hot dipped galvanized.

For work involving Additions and/or Alterations, the builder shall allow and be responsible for making good and/or alter existing structures including roofs as necessary and/or required for the proper erection and completion of proposed works. Make good existing affected by proposed works and finished to match.

All finishes, including electrical layout, shall be determined by Owner/s prior to tendering or quoting by Builder.

Treads, risers and balustrades to comply with part 3.9.1 & Part 3.9.2 of the B.C.A. Balustrading is to be a minimum of 1000 high and any openings are not to exceed 125mm.

Glass doors and fixed panels are to comply with the requirements of AS 1288. Windows to AS 2047.

Protection of buildings from subterranean termites shall be in accordance with Part 3.1.3 of the B.C.A. and the requirements of the A.S. 3660.1 and all amendments thereto.

Waterproofing of wet areas in the building shall be carried out in accordance with part 3.8.1 of the B.C.A. and AS 3740.

An automatic fire detection and alarm system shall be installed in the building (within each floor and within vicinity to basement) in accordance with Part 3.7.2 of the Building Code of Australia and AS 3785.

Demolition works shall be carried out in accordance with AS 2601 'The Demolition of Structures'. Masonry: All masonry works shall comply with the provisions of AS 3700.

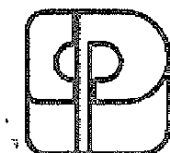
Provide steel work in accordance with Engineer's details. Provide and erect formwork in accordance with AS 3623.

Roof covering shall comply with AS 2049 - roof tiles/AS2050 installation of roofing tiles. Sheet roofing and wall cladding shall comply with AS1562.

External wall sheeting shall be installed in a manner that will prevent the entry of moisture and to comply with clause 3.5.3 of the B.C.A.

Swimming pool safety shall be in accordance with AS1926.

All Bank commitments must be complied with. The attached Bank Certificate No. shall form part of this drawing and part of the specification for this project.



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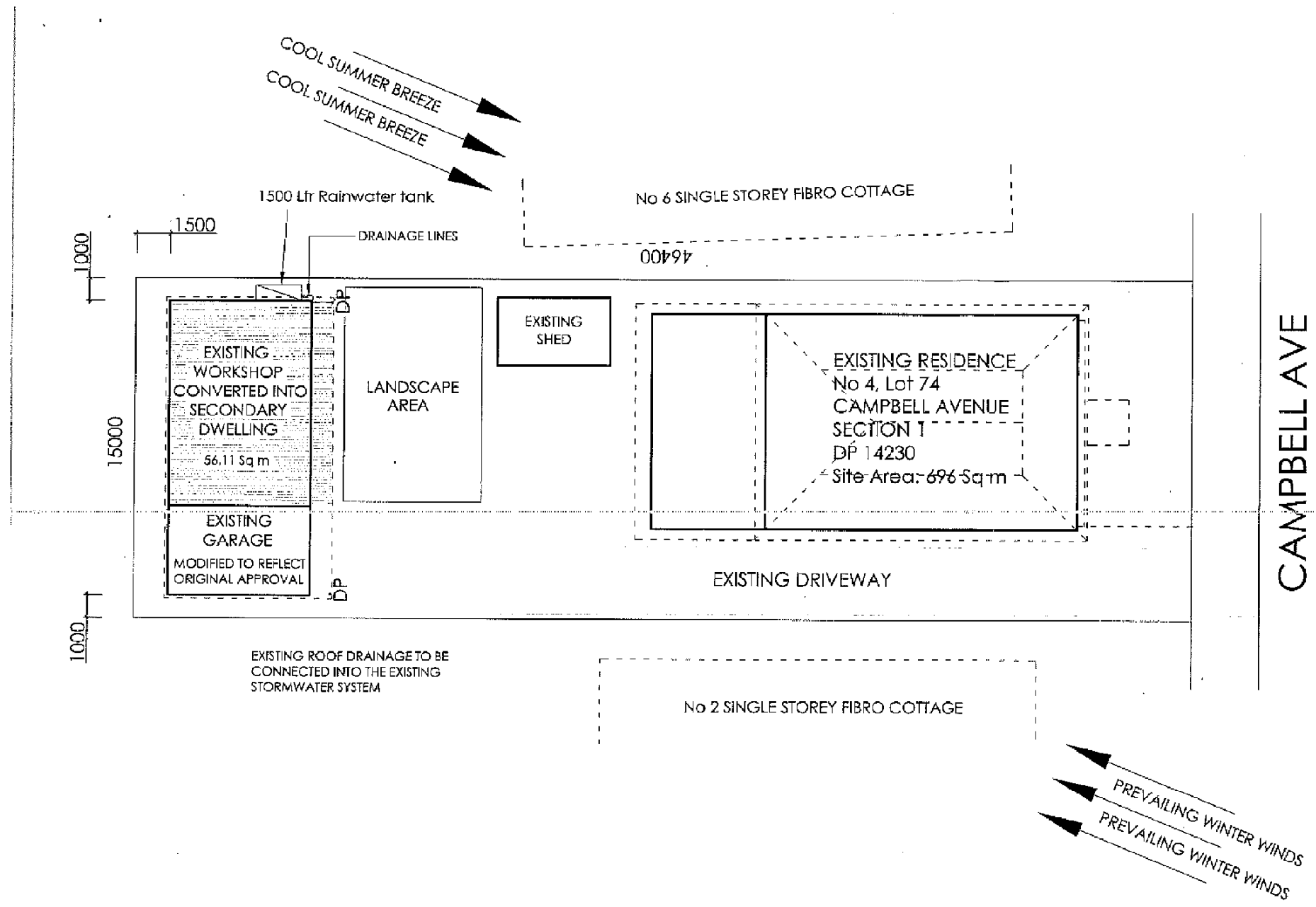
ABN 79 002 126 758

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project:  
PROPOSED RESIDENCE  
(with granny flat)  
ON LOT 201 WALLUM CR  
WOONGARRAH

1:100 FEB 2012  
3222 34 A

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**GENERAL NOTE**

All measurements and levels to be verified on site and not scaled off these drawings.  
 No easements, right of ways, or restrictions to the site.  
 No land constraints listed in Wyong Shire Council constraints mapping.  
 No trees or any other vegetation to be removed from the site.  
 No cut and fill required as detailed on the plans.  
 All new building work to be in accordance with the relevant Building Codes of Australia.

**STORMWATER MANAGEMENT PLAN:**

No roof area proposed in the development. Drain existing proposed secondary dwelling area into new 1500 litre rain water storage tank to be installed with overflow connected to existing stormwater lines.

**EROSION AND SEDIMENT CONTROL MEASURES:**

No erosion and sediment control measures required for this development.

**SITE COVERAGE:** Site area: 697 m<sup>2</sup>  
 Total site development: 182 m<sup>2</sup> - 26.12 %

**SITE PLAN KEY:**

- Proposed Development: [Solid line]
- Existing stormwater lines: [Dashed line]
- New stormwater lines: [Dotted line]
- Landscaped area: [Dashed box]

**BASIX CERTIFICATE No 426640S - DATED 1 May 2012**

**CONSTRUCTION COMMITMENTS:** Refer to attached Certificate.

**Hot Water Service:** Solar (electric boosted)

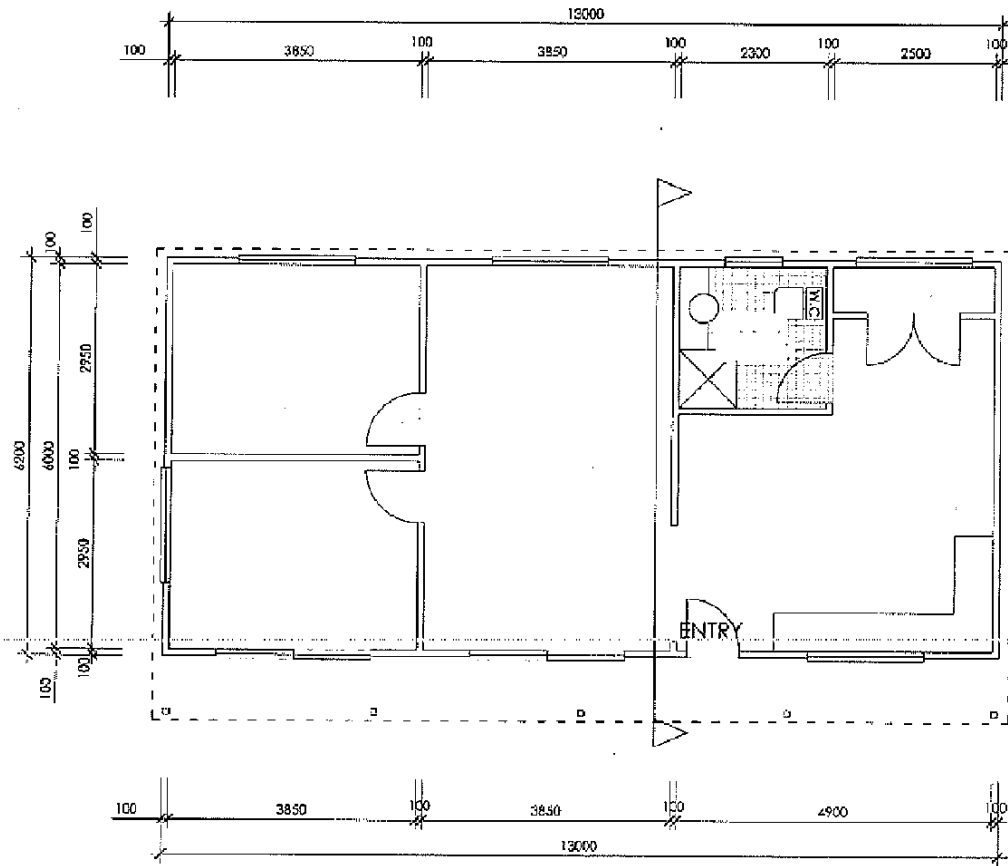
**Lighting:** 40% of new or altered light fittings to have LED lamps.

**Fixtures:** All new or altered showerheads, toilets and taps to be 3 star rated.

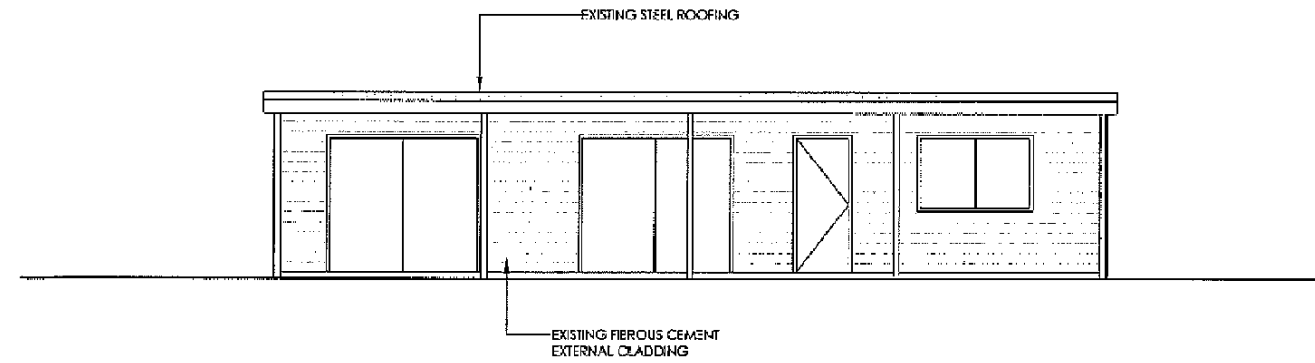
**Insulation Requirements:** Suspended floor frame - R0.8 (down). External fibre cement clad walls - R1.30, brick veneer walls - R1.16, Flat ceiling- R1.45 (up). Roof - 55mm foil backed insulation with steel roof sheeting to be light (solar absorptance < 0.475).

**Windows:** All new windows and sliding doors as per the Basix window schedule.

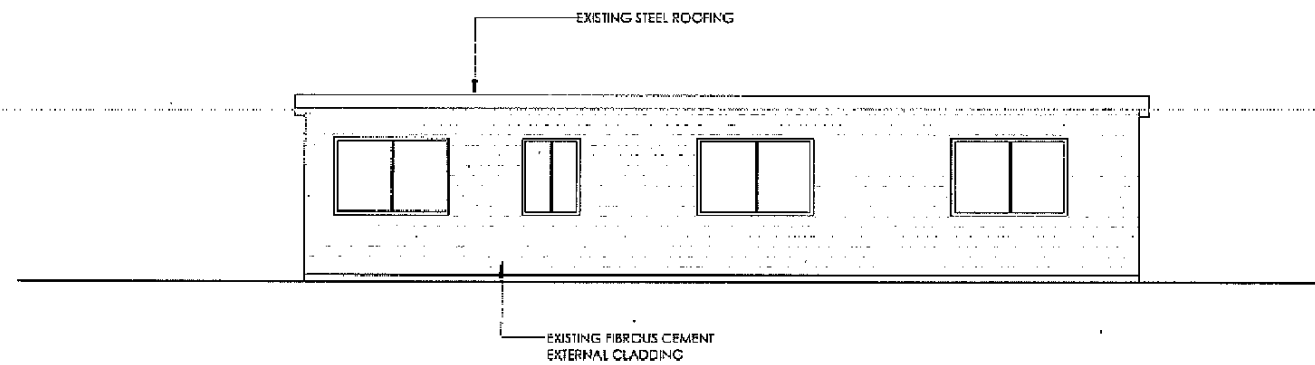
PROPOSED: SITE PLAN / STORMWATER PLAN  
 SITE ANALYSIS AND LANDSCAPE PLAN  
 SCALE 1:200



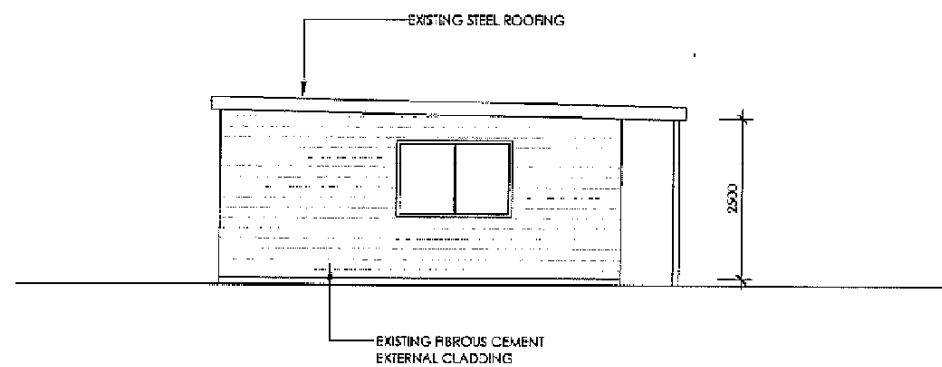
CONSTRUCTED FLOOR PLAN  
SCALE 1:100



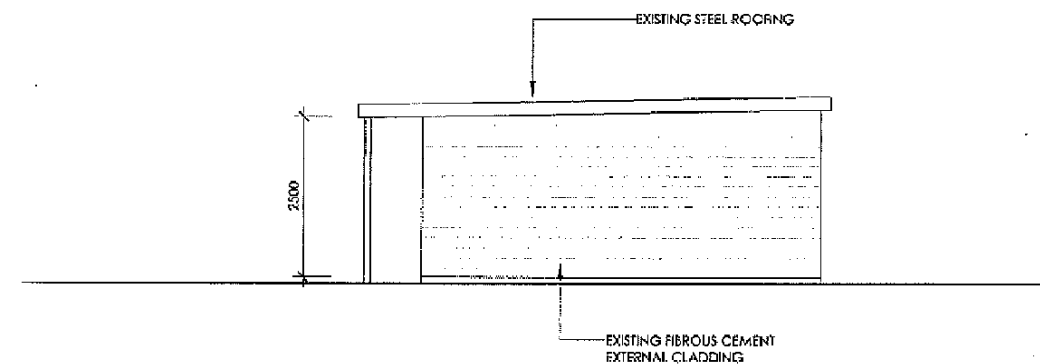
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SCALE 1:100



CONSTRUCTED N/E ELEVATION  
SCALE 1:100

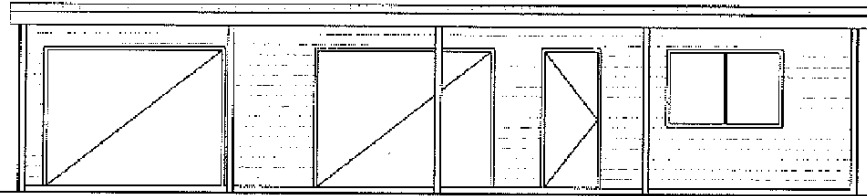


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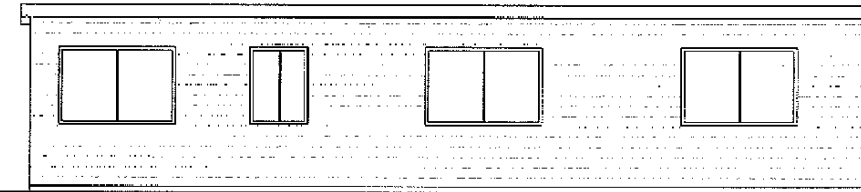


CONSTRUCTED N/E ELEVATION  
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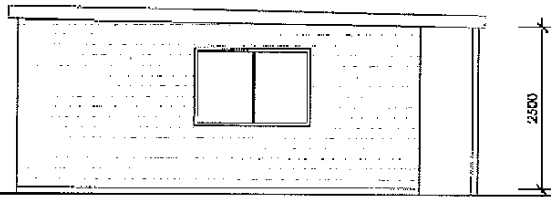




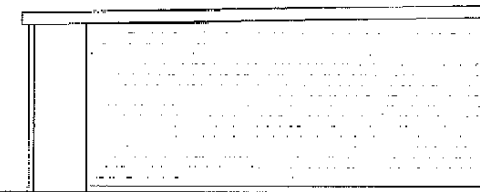
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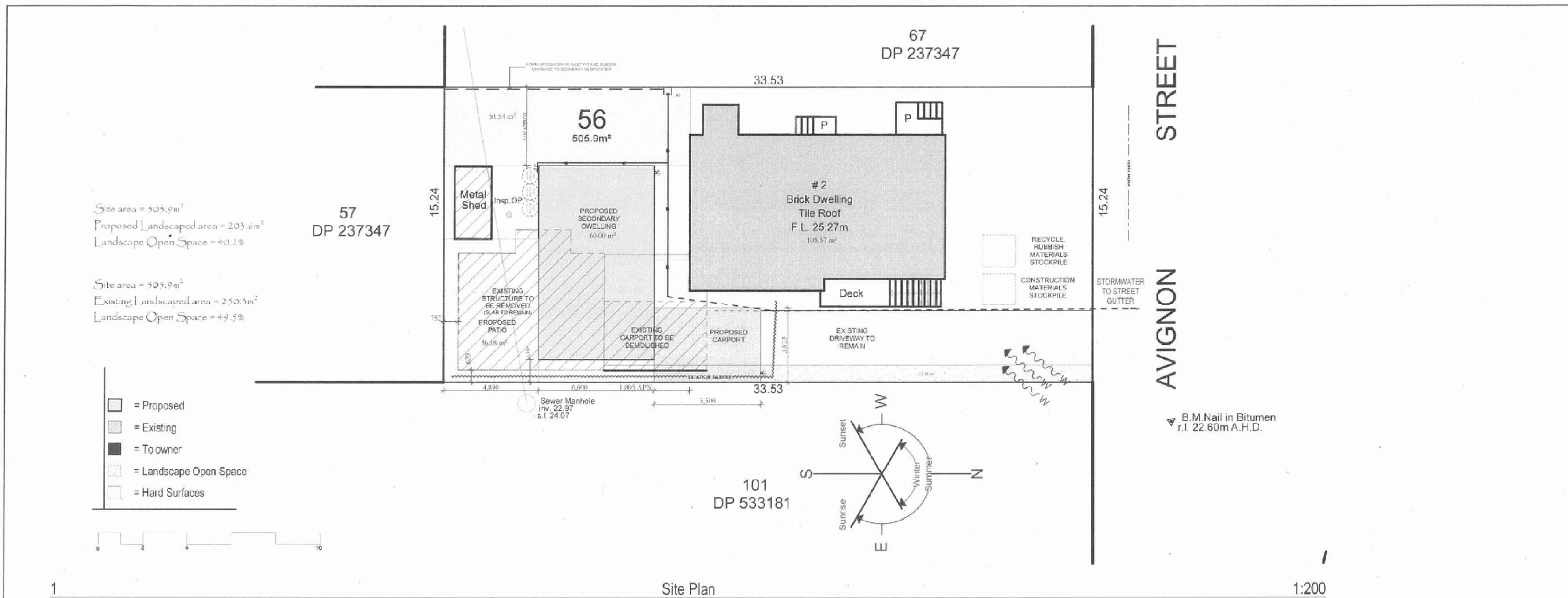
APPROVED N/E ELEVATION  
SCALE 1:100



APPROVED N/W ELEVATION  
SCALE 1:100



APPROVED N/E ELEVATION  
SCALE 1:100



Basix Certificate number: 421739S Monday, 26 March 2012

**Fixtures**

The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.  
 The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.  
 The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.  
 The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

**Alternative water**

**Rainwater tank**  
 The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.  
 The applicant must configure the rainwater tank to collect rain runoff from at least 64 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).  
 The applicant must connect the rainwater tank to:  
 • all toilets in the development  
 • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Thermal Comfort Commitments Show on DA plans Show on CC/CDC plans & specs Certifier check

**Floor, walls and ceiling/roof**

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.  
 Construction Additional insulation required (R-Value) Other specifications  
 floor - concrete slab on ground nil  
 external wall - framed (weatherboard, fibre cement, metal clad)  
 1.50 (or 1.90 including construction)  
 ceiling and roof - flat ceiling / pitched roof ceiling: 0.7 (up), roof: foil backed blanket (55mm) gable end vents; light (solar absorbance < 0.475)  
 Note Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

- W1 N 1.1 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) eave/verandah/pergola/balcony 450 mm not overshadowed
- W2 W 1.45 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) none not overshadowed
- W3 E 1.45 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) none not overshadowed
- W4 E 1.45 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) none not overshadowed
- W5 S 0.49 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) eave/verandah/pergola/balcony 450mm not overshadowed
- W6 S 0.49 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) eave/verandah/pergola/balcony 450 mm not overshadowed
- W7 N 3.78 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) eave/verandah/pergola/balcony 450 mm not overshadowed
- W8 S 3.78 standard aluminium, single clear (or U-value:7.63, SHGC:0.75) eave/verandah/pergola/balcony 450 mm not overshadowed

**Hot water**

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4.5 stars.

**Cooling system**

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 4.5 Star (new rating)  
 The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating: 4.5 Star (new rating)  
 The cooling system must provide for day/night zoning between living areas and bedrooms.

**Heating system**

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (new rating)  
 The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 Star (new rating)  
 The heating system must provide for day/night zoning between living areas and bedrooms.

**Ventilation**

The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual on / timer off  
 Kitchen: individual fan, not ducted; Operation control: manual on / timer off Laundry: natural ventilation only, or no laundry; Operation control: n/a

**Artificial lighting**

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:  
 • at least 1 of the bedrooms / study; dedicated • at least 2 of the living / dining rooms; dedicated • the kitchen; dedicated  
 • all bathrooms/toilets; dedicated • all hallways; dedicated

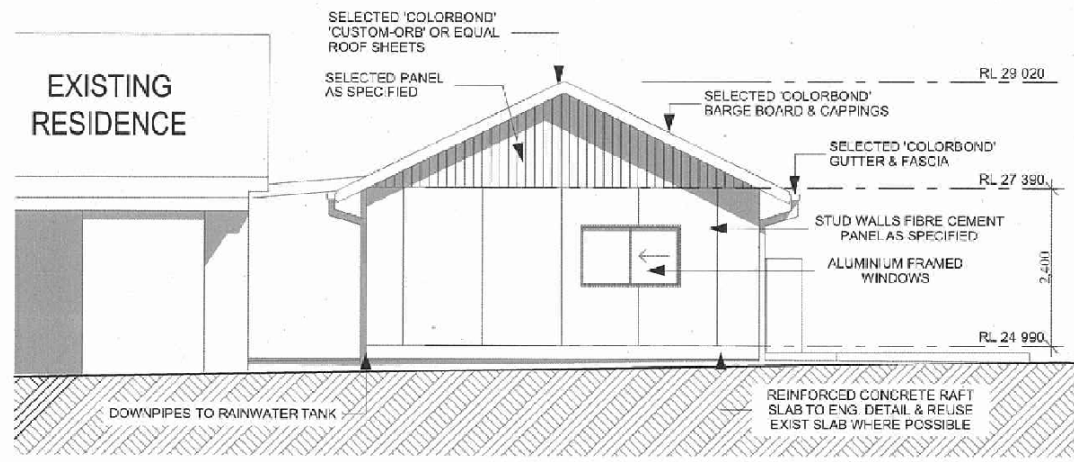
**Natural lighting**

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.  
 The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.

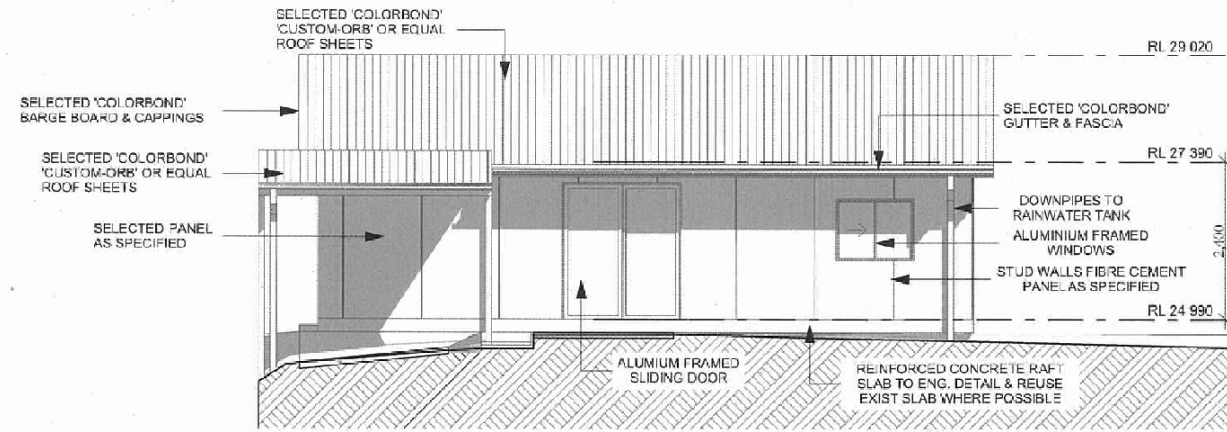
**Other**

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions  
 The applicant must install a fixed outdoor clothes drying line as part of the development.

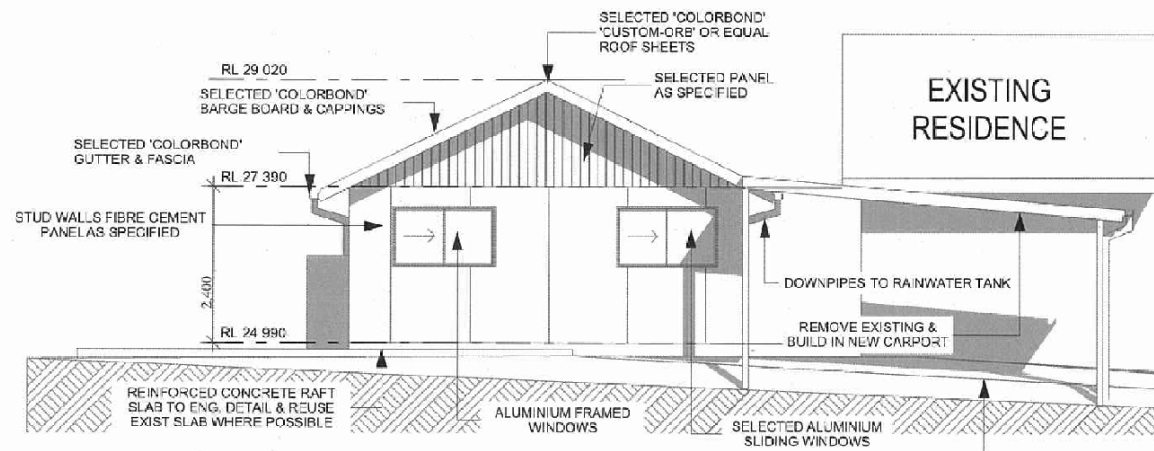
B A	AMENDED DA - ADD LDYR CUPB'D	10.05.12	WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALING CONFIRM ALL DIMENSIONS, SETOUTS, LEVELS & ALL ASPECTS OF THE WORKS ANY CORRECTIONS OR AMBIGUITY IS TO BE RESOLVED BEFORE COMMENCING WORKS OR FABRICATION WINDOW SIZES SHOWN ARE NOMINAL (HEIGHT WIDTH) IE 2124 = 2.1m x 2.4m ADJUST TO THE MANUFACTURERS STANDARD SIZES ALL LEVELS AND HEIGHTS INDICATED ARE TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE SPECIFICALLY REFERENCED	Project Name : <b>PROPOSED SECONDARY DWELLING</b>	RJS & CE PRICE 36 MALINYA ROAD DAVISTOWN NSW 2251 PO BOX 6278 KINCUMBER NSW 2251 P 02 43695200 F 02 43695201 M 0408 695200	AMEND <b>A</b> ISSUE		
	DA ISSUE	22.03.12		Client Name : <b>MR D &amp; MRS W ANTYPAS</b>			SITE PLAN	12019
No	AMENDMENT / ISSUE	DATE	REPRODUCTION IN PART OR FULL IS PROHIBITED BY COPYRIGHT	Client Address : <b>2 AVIGNON STREET BATEAU BAY LOT 56 DP 237347</b>	MARCH 2012	1:200	JJU,RJS	06



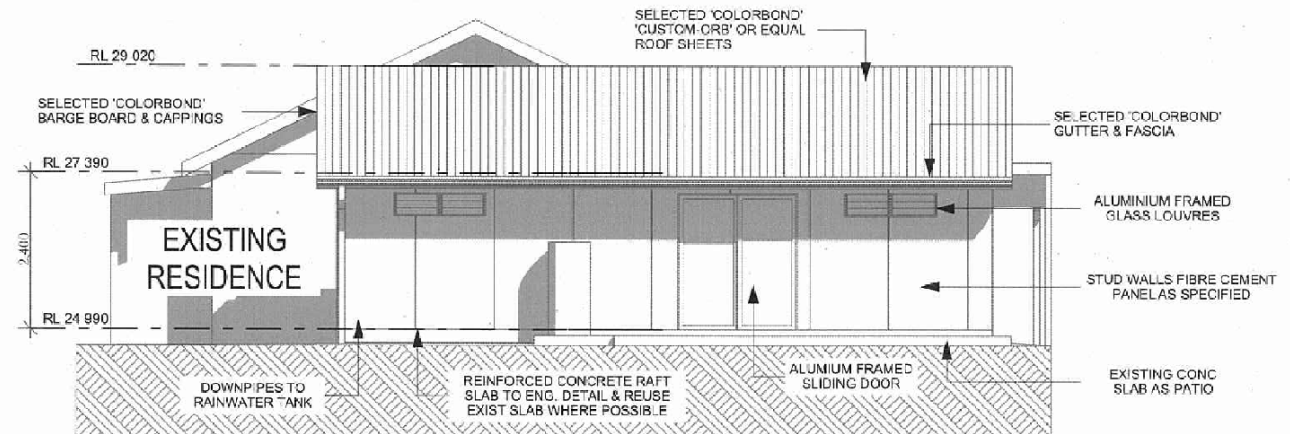
1 WEST ELEVATION 1:100



2 NORTH ELEVATION 1:100

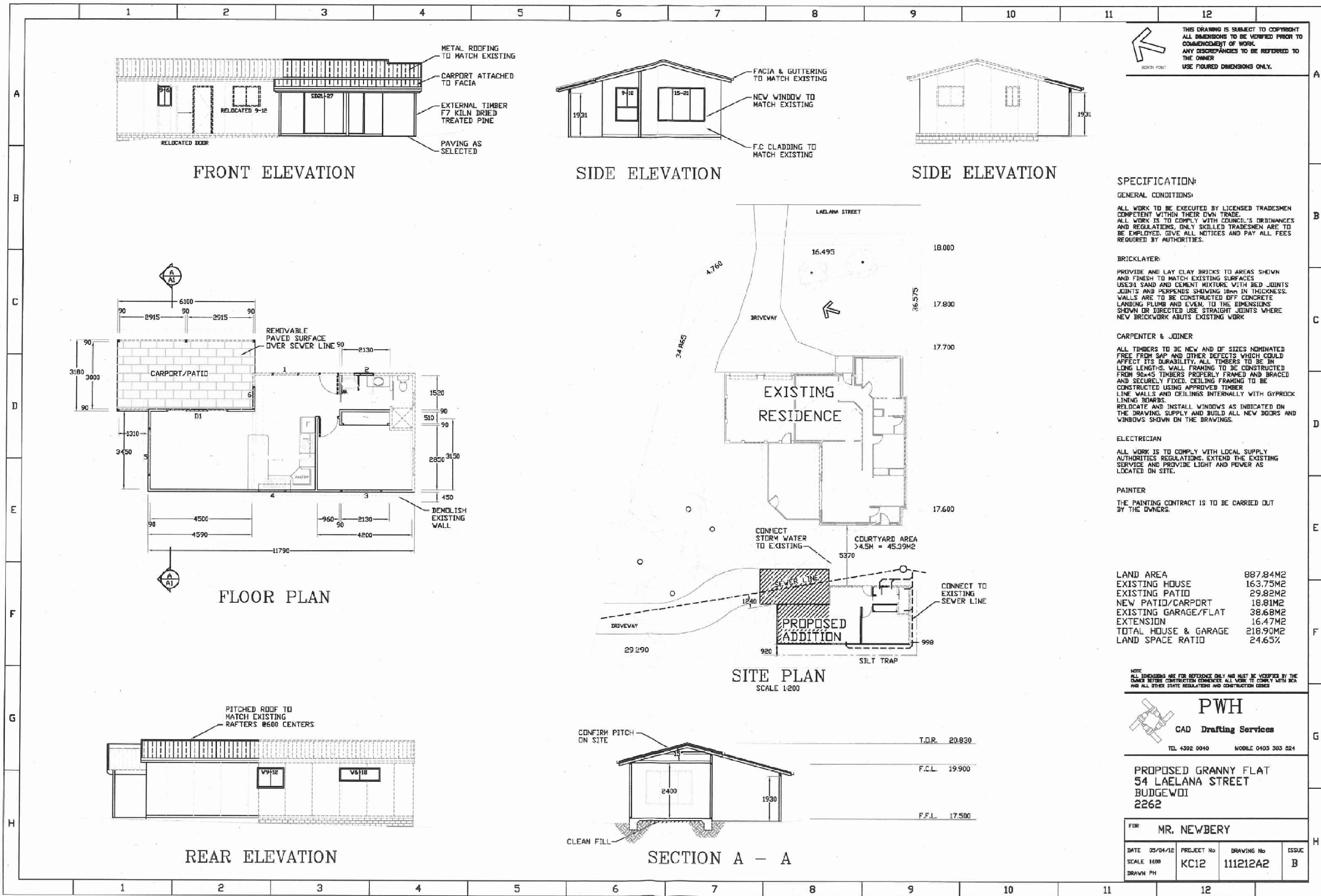


3 EAST ELEVATION 1:100



4 SOUTH ELEVATION 1:100

B A	AMENDED DA - ADD LDYR CUPB'D DA ISSUE	10.05.12 22.03.12	WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALING CONFIRM ALL DIMENSIONS, SETOUTS, LEVELS & ALL ASPECTS OF THE WORKS. ANY CORRECTIONS OR AMBIGUITY IS TO BE RESOLVED BEFORE COMMENCING WORKS OR FABRICATION WINDOW SIZES SHOWN ARE NOMINAL (HEIGHT WIDTH) IE 2124 = 2.1m x 2.4m ADJUST TO THE MANUFACTURERS STANDARD SIZES ALL LEVELS AND HEIGHTS INDICATED ARE TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE SPECIFICALLY REFERENCED	Project Name : <b>PROPOSED SECONDARY DWELLING</b>	RJS & CE PRICE 36 MALINYA ROAD DAVISTOWN NSW 2251 PO BOX 6278 KINCUMBERR NSW 2251 P 02 43695200 F 02 43695201 M 0408 695200	AMEND <b>A</b> ISSUE		
				Client Name : <b>MR D &amp; MRS W ANTYPAS</b>			ELEVATIONS <b>12019</b>	
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 ALL DIMENSIONS TO BE VERIFIED PRIOR TO  
 COMMENCEMENT OF WORK.  
 ANY DISCREPANCIES TO BE REFERRED TO  
 THE OWNER.  
 USE FIGURED DIMENSIONS ONLY.

**SPECIFICATION:**  
**GENERAL CONDITIONS:**  
 ALL WORK TO BE EXECUTED BY LICENSED TRADESMEN  
 COMPETENT WITHIN THEIR OWN TRADE.  
 ALL WORK IS TO COMPLY WITH COUNCIL'S ORDINANCES  
 AND REGULATIONS, ONLY SKILLED TRADESMEN ARE TO  
 BE EMPLOYED. GIVE ALL NOTICES AND PAY ALL FEES  
 REQUIRED BY AUTHORITIES.

**BRICKLAYER:**  
 PROVIDE AND LAY CLAY BRICKS TO AREAS SHOWN  
 AND FINISH TO MATCH EXISTING SURFACES  
 USE 3:1 SAND AND CEMENT MIXTURE WITH BED JOINTS  
 JOINTS AND PERPENDS SHOWING 10mm IN THICKNESS.  
 WALLS ARE TO BE CONSTRUCTED OFF CONCRETE  
 LANDING PLUMB AND EVEN, TO THE DIMENSIONS  
 SHOWN OR DIRECTED USE STRAIGHT JOINTS WHERE  
 NEW BRICKWORK ABUTS EXISTING WORK

**CARPENTER & JOINER:**  
 ALL TIMBERS TO BE NEW AND OF SIZES NOMINATED  
 FREE FROM SAP AND OTHER DEFECTS WHICH COULD  
 AFFECT ITS DURABILITY. ALL TIMBERS TO BE IN  
 LONG LENGTHS. WALL FRAMING TO BE CONSTRUCTED  
 FROM 90x45 TIMBERS PROPERLY FRAMED AND BRACED  
 AND SECURELY FIXED. CEILING FRAMING TO BE  
 CONSTRUCTED USING APPROVED TIMBER  
 LINE WALLS AND CEILINGS INTERNALLY WITH GYPROCK  
 LINING BOARDS.  
 RELOCATE AND INSTALL WINDOWS AS INDICATED ON  
 THE DRAWING. SUPPLY AND BUILD ALL NEW DOORS AND  
 WINDOWS SHOWN ON THE DRAWINGS.

**ELECTRICIAN:**  
 ALL WORK IS TO COMPLY WITH LOCAL SUPPLY  
 AUTHORITIES REGULATIONS. EXTEND THE EXISTING  
 SERVICE AND PROVIDE LIGHT AND POWER AS  
 LOCATED ON SITE.

**PAINTER:**  
 THE PAINTING CONTRACT IS TO BE CARRIED OUT  
 BY THE OWNERS.

LAND AREA	887.84M <sup>2</sup>
EXISTING HOUSE	163.75M <sup>2</sup>
EXISTING PATIO	29.82M <sup>2</sup>
NEW PATIO/CARPORT	18.81M <sup>2</sup>
EXISTING GARAGE/FLAT	38.68M <sup>2</sup>
EXTENSION	16.47M <sup>2</sup>
TOTAL HOUSE & GARAGE	218.90M <sup>2</sup>
LAND SPACE RATIO	24.65%

NOTE:  
 ALL DIMENSIONS ARE FOR REFERENCE ONLY AND MUST BE VERIFIED BY THE  
 OWNER BEFORE CONSTRUCTION COMMENCES. ALL WORK TO COMPLY WITH BCA  
 AND ALL OTHER STATE REGULATIONS AND CONSTRUCTION CODES.

**PWH**  
 CAD Drafting Services  
 TEL 4392 0940 MOBILE 0403 303 524

PROPOSED GRANNY FLAT  
 54 LAELANA STREET  
 BUDGEWOI  
 2262

FOR MR. NEWBERY			
DATE 05/04/12	PROJECT No KC12	DRAWING No 111212A2	ISSUE B
SCALE 1:100	DRAWN PH		

9 November 2011  
To the Ordinary Meeting

Director's Report  
Corporate Services Department

#### **4.8 Lakes Beach Eco-Tourism Proposal**

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TRIM REFERENCE: - D02828182

MANAGER: Bob Platt, Acting Director Corporate Services

AUTHOR: Garry McLachlan; Manager Business Development

#### **SUMMARY**

Reporting on the findings of the ecological studies undertaken by Conacher Consulting on Crown land located immediately south of the Lakes Surf Club.

#### **RECOMMENDATION**

- 1 *That Council resolves not to support any development, including an eco resort on Crown land south of the Lakes Surf Club as a result of the findings of the ecological studies undertaken by Conacher Environmental Group.*
- 2 *That Council refer the final Ecological Report be referred to Councils Environment and Natural Resource Section for consideration and appropriate action.*
- 3 *That Council undertake additional investigations on land identified in the Conacher report located between the southern and centre car parks and including the car parks, with a view to establishing whether this portion of land could be suitable for the establishment of a quality eco-resort.*
- 4 *That Council refer the final Ecological Report be distributed to the Estuary Management Committee.*

#### **ORDINARY MEETING HELD ON 9 NOVEMBER 2011**

**RESOLVED on the motion of Councillor WYNN and seconded by Councillor VINCENT:**

- 1 ***That Council resolve not to support any development, including an eco resort on this Crown land as a result of the findings of the ecological studies undertaken by Conacher Environmental Group at Lakes Beach.***
- 2 ***That Council refer the final Ecological Report be referred to Council's Environment and Natural Resource Section for consideration and appropriate action.***
- 3 ***That Council request the Director of Environment and Planning to seek out investigate and report back to Council on other areas in Wyong Shire that would support Eco-Tourism developments including the possibility of a joint venture with the Darkinjung Local Aboriginal Land Council.***

- 4 ***That Council re-endorse the unanimous Council resolution from August 2009, supporting that the area between Werepi St Noraville and the Munmorah State Recreation park be placed under E2 (Environmental Conservation) in the current LEP review.***
- 5 ***That Council thank Hargraves Beach Dunecare, Budgewoi Beach Dunecare, & Lakes Beach Dunecare for their many hours of dune rehabilitation work on the Lakes Beach site and acknowledge objections and outrage of many local community groups to the Eco Tourism resort proposal on the established Lakes Beach Dunecare site.***
- 6 ***That Council request that the Land and Property Management revoke the license to investigate the development of Lot 7318 DP 1148096 from Werepi St Noraville to the Munmorah State Recreation park.***
- 7 ***That Council refer the final Ecological Report to be distributed to the Tuggerah Lakes Estuary, Coastal and Floodplain Management Committee.***

FOR: COUNCILLORS BEST, GRAHAM, MATTHEWS, MCBRIDE, MCNAMARA, SYMINGTON,  
VINCENT, WEBSTER AND WYNN

AGAINST: COUNCILLOR EATON

## **BACKGROUND**

In 2007 Council resolved to compile a bid to secure the rights to host the 2010-2012 Australian Surf Life Saving Championships and selected the Lakes Beach as the venue for the Championships. The bid included substantial back of beach works which included large grassed areas with picnic tables and amenities not only for those attending the event, but also for members of our community to utilise when the event concluded. The master plan included boardwalks, car parking areas and included a large amphitheatre and grandstand in the area immediately south of the surf club in the location where the current proposal is located. Despite public consultation no adverse comments were received and had Council been successful in this bid the back of beach area and the area in question would be vastly different today.

Recognising the need for quality accommodation nodes within the northern portion of the Shire, Council through its operational plans continued to investigate opportunities on Crown Land in the vicinity of the Lakes Beach Surf Club.

In 2010 a site constraints review was undertaken by Conacher Consulting to assess whether potential existed for the establishment of an eco resort on Crown Land south of the Lakes Surf Club. The report targeted flora and fauna issues with the survey not detecting any endangered ecological communities within the area of interest, but did identify vegetation groups Littoral rainforest and Swamp Sclerophyll Forest, recognised endangered ecological communities, at the southern extremity of the study area.

In October 2010 Council was alerted to the presence of native orchids in the study area, however the flowering season was at its end and it was determined to wait a further 12 months and undertake the survey for orchids in the flowering season.

Following a question without notice by Councillor Best a report on the status of the project was submitted to Council on the 22<sup>nd</sup> June 2011 and Council resolved to continue with the ecological studies until they have been concluded, with the following resolution adopted;

*“RESOLVED on the motion of Councillor GRAHAM and seconded by Councillor WEBSTER:*

- 1 *That Council note the recommendations of the Tuggerah Lakes Estuary Coastal and Floodplain Management Committee - Eco-Tourism Park Proposal.*
- 2 *That Council defer any decision regarding its support or opposition to the proposal pending completion of all relevant ecological studies due October 2011.*
- 3 *That Council consider a report on the ecological studies.*

FOR: COUNCILLORS BEST, EATON, GRAHAM, MATTHEWS, MCBRIDE, MCNAMARA, SYMINGTON AND WEBSTER

AGAINST: COUNCILLOR VINCENT”

## **DISCUSSION**

After the resolution of Council in June staff met with the consulting ecologist and identified the best approach to proceed in this matter. It was determined that the area should be thoroughly searched to determine the extent of the orchid population and to ensure that the results were accurate.

A targeted survey on Orchid species, in particular *Caladenia porphyrea*, was undertaken by Conacher Consulting in August through to October, the flowering season. The objectives of the targeted survey were;

- 1 The flowering period of *Caladenia porphyrea* within the investigation area;
- 2 An estimate of the distribution of the local population of *Caladenia porphyrea*;
- 3 An estimate of the size of the local population of *Caladenia porphyrea* present within the investigation area.
- 4 Identify and record all other species of orchids.

The survey work commenced on 1 July 2011 with the first flower observed on 26 August 2011. The survey is concluded when no flowers are observed for two consecutive weekly surveys. This occurred on the 17 October 2011.

Whilst the orchid survey recorded all orchids encountered during the investigation the survey targeted the endangered species *Caladenia porphyrea*. The survey found 813 plants in 85 clumps of *Caladenia porphyrea* in a location immediately south of the Lakes Surf Club.

This species of orchid is listed as an endangered species under the Threatened Species Conservation Act and the isolated location of the population may enable the area to be listed as an endangered population under the Threatened Species Conservation Act. Accordingly the report will be referred to council's Environment and Natural Resource section for action. The survey for *Caladenia porphyrea* is attached as appendix 2.

After discovery of the flowering *Caladenia* orchids, searches to the north and south of the survey site were carried out to determine the extent of the orchid population. Orchids were not discovered in either these areas.

The survey indicated that the areas to the south of the subject site includes the Sclerophyll Forest and the Littoral Rainforest whilst the areas to the north located between the southern and centre car park and a small area north of the centre car park has no significant native vegetation and is heavily impacted by weeds including bitou bush. The report states that from an ecological viewpoint the area north of the Lakes Surf Club is an area that could be utilised for an eco resort.

The report concludes that future development within the area south of the Lakes Surf Club is likely to be highly constrained due to the presence of vegetation classified as endangered ecological communities and the distribution of a local population of the endangered terrestrial orchid species *Caladenia porphyrea*.

The consultant has advised that the final ecological report will be completed in time to present to the 14 December 2011 meeting in Council. The final report will be useful as a reference document for Council's Sustainability and Natural Resources section.

The two Ecological reports provided by Conacher Consulting to date have cost \$11,800 ex GST.

It is therefore recommended that Council not support any form of development on crown Land south of the Lakes Surf Club.

## **TOURISM AND ACCOMODATION IN WYONG SHIRE**

It has been recognized for some time that quality tourist accommodation nodes are lacking in the northern section of Wyong Shire. Indeed the last 2 quality accommodation facilities established in Wyong Shire were Magenta Shores and Koowinda Waters, which have now been established for a number of years

Council has previously recognized the dire state of accommodation in the north of the Shire and has required Central Coast Tourism to assist Council in improving this state by assigning a specific task relating to improving tourist destinations in the north of the Shire in their funding agreement.

It is recognized that local and international tourists are expecting more than a holiday they are expecting an experience and a location that will attract their return.

The Queensland Government has recently adopted a policy that encourages sustainable nature based tourism within National Parks and five World heritage areas which are internationally renowned for their beauty, diversity and unique natural values.



On the 2 December 2009 the Department of Planning under the then Labour Government introduced an LEP Practice note (PN 09-006) that provided guidelines for local government to consider tourism opportunities which included eco tourism and back packing facilities in the Environmental protection Zones E2,E3,E4. The Government took this direction as it recognized the potential to boost tourism and create employment in New South Wales.

Other Local Government areas have utilized locations that have high public appeal to create destinations that have an appeal both locally and internationally. Cabins have been installed in the trees of the Daintree, on cliff faces in the Great Barrier Reef National Park, within National Parks in New South Wales and along beaches in Queensland and Western Australia.

Coastal Councils are also installing boardwalks along coastal trails to entice tourists, indeed Council has received funding for a boardwalk along the coastal strip at The Entrance. Lake Macquarie Council has cantilevered a cycle way over Lake Macquarie and it is used by thousands. Newcastle City Council are considering a coastal boardwalk elevated on high coastal cliff faces and have under construction a restaurant nightspot on the beach at Merewether.

Whilst the northern portion of Wyong Shire is not in the same category as some of the Queensland and New South Wales locations it certainly does have some unique and beautiful locations, with the Lakes Beach precinct being one such location.

It must also be recognized that there are not many locations in this portion of the Shire that could cater for a four star plus eco resort. The opportunity to develop a quality accommodation node on the beach in a pristine location such as the Lakes must not be lost.

It is understood that managing growth while conserving natural values is a balancing act but by working collaborately with all stakeholders, balance can be achieved.

### **ALTERNATIVE SITE LAKES BEACH PRECINCT**

The consultant Conacher Consulting has identified an area north of the Lakes Surf Club that from an ecological viewpoint would be a viable alternative for the establishment of an eco resort. The identified site has an area of approximately 3 Hectares and includes a 3,000 sm tar sealed car park and toilet block.

The ecological report indicates that the same constraints in relation to endangered ecological communities and endangered or vulnerable plant species have not been identified within the two areas of land to the north of the car park area. These areas of land contain areas of moderate to highly degraded regrowth dune vegetation with high levels of exotic weed invasions present.

The site is located between the dune and Budgewoi Road, it is a narrow and elongated parcel of land but is located within close proximity to the Lakes Surf Club.

Site 1 identified in the Conacher report is located within the Lakes Beach United Dune Care precinct but has not been subject to any restoration. Council's records indicate that the group has completed some works on the dune immediately north of the surf club. The records also indicate that in the area of interest weed density is 70-100% with bitou bush being the dominant species.

Site 2 identified in the Conacher report is located within the Budgewoi Beach Dune Care precinct, but to date no restoration has taken place in this area. Indeed the Dune Care Action Plan for this precinct identifies that no work is planned in this area for the upcoming year.

The site has a number of challenges including sea level rise, being located within the 50 year recession line and SEPP 71 to mention a few.

Council's position on an eco resort has always been to construct a facility with no bricks and mortar, but to strategically locate cabins and modern tents throughout the site, retaining significant vegetation and connect the accommodation facilities with raised boardwalks.

Therefore should sea level rise or the sea top the recession line the facilities could be moved to higher ground in a short period of time. It must also be recognized that should either of these two events take place all vegetation within the area of inundation would also be impacted upon and ultimately perish.

The establishment of an eco resort in this precinct would provide many advantages to the community including;

- Creating an alternative revenue stream that could provide up to \$600,000 annually to the precinct through a process similar to existing cluster fund arrangements. The funding could be directed to Land care groups, the surf club and provide assistance to the disabled beach precinct. Council's annual commitments are becoming more difficult to fund from existing budgets and alternative sources must be found
- The area that currently has 70-100% weed invasion would be regenerated with native species as part of the landscape plan for any development.
- The existing tar sealed car park can be significantly reduced in size and some of the area being regenerated with native species.
- Employment opportunities for our community.
- Provide boardwalks that connect existing residential communities to the patrolled surfing beach.
- The establishment of an interpretive centre that would showcase land care, coastal management techniques, the marine environment and indigenous history

Council currently manages tourist parks in similar locations, Toowoan Bay is located on a high fore dune overlooking North Shelly Beach and Canton Beach and Budgewoi tourist parks are located on the shores of Tuggerah and Munmorah Lakes respectively. Privately owned facilities such as Kim's at Toowoan Bay and Blue Lagoon at Bateau Bay are established just above the high water mark and within the 50 year recession line.

The site identified in the aerial photo attached as Appendix 2 is worthy of further investigation if Council is to meet the challenges of providing quality accommodation facilities within our Shire. It will therefore be recommended to Council that further investigations be carried out to determine whether the site located north of the Lakes surf club is suitable for an eco resort.



View of Bitou Bush infestation of site 1



View Carpark north of site 1

### **ECONOMIC and FINANCIAL ASSESSMENT of ECO RESORT**

As the proposal is at a conceptual stage a detailed financial assessment of the project has not been undertaken. However, to give Councillors an understanding of the likely financial impacts of such a program it is assumed that the first stage will consist of fifty high end accommodation nodes (cabins/tents) being located on site.

Financial models of similar existing facilities indicate that a 70% occupancy rate would net a return of approximately \$600,000 per annum after all expenses, including the CALM levy, would be achieved.

It is broadly estimated that it will cost \$5,000,000 to develop the first stage with funding being available through a variety of sources including internal loans, loans from the LPMA, grants and Regional Development Australia. Should Council decide to proceed with the project a detailed economic analysis will be undertaken.

It is recognised that the northern part of Wyong Shire is depressed and requires an injection of wealth. The area suffers from high youth unemployment and a lack of quality accommodation outlets. Indeed, several existing motels within the Toukley district have been forced to resort to secure an income stream by accommodating Department of Housing and Welfare clients, not tourists.

The establishment of a quality accommodation node in this area would be a significant benefit to the community in general.

## **COMMUNITY CONSULTATION**

It is recognised that for a variety of reasons community consultation during the formation of the project to establish an eco resort on Crown land south of the Lakes Surf Club was inadequate.

This was highlighted by the public protests and community meeting organized by a small but concerned section of the community.

It is regrettable that council's poor performance in this area has led to an amount of misinformation being distributed to the general community. Council must learn from this lesson and if it decides to proceed with further investigations on the alternative site then a communication and consultation strategy must be developed with input from the community and interested groups.

It is encouraging to note that the community members who opposed the eco resort have consistently said it was not the concept that they opposed but the location. This point of view was highlighted in an article in the 2 September 2011, Express Advocate. The article showcased a site meeting between some community members and the Deputy Opposition leader in New South Wales, Linda Burney, in which the dune care members and Ms Burney stated "none of the members are against an eco village style development, just not in this location".

During any consultation Council must ensure that it achieves a balanced response bearing in mind that Wyong Shire now has 150,000 residents.

## **CONCLUSION**

The ecological studies undertaken by Conacher Environmental Group have confirmed the existence of a substantial population of the endangered orchid *Caladenia porphyrea* in the area proposed to establish an eco resort. These results support Council's direction to complete the studies and await the ecologist's findings was the correct decision.

The investigations carried out by Conacher revealed a 2-3 Hectare site north of the surf club that has no ecological issues and therefore may be suitable for an eco resort. The area is

heavily weed invested and includes an old tar sealed Carpark and toilet block. Considering the views expressed by the opponents to the development south of the surf club being that they are not opposed to an eco resort just the location south of the club, this site may be more acceptable to the community.

Council has expressed support in a number of documents and articles to improving tourism opportunities within the northern portion of the Shire and an eco resort would meet this commitment. An eco resort would also create an on going revenue stream that could be injected into environmental and community services within this precinct.

It is acknowledged that there are many challenges associated with this project but there are also many opportunities. Council can create a tourist facility that will gain world wide recognition and inject considerable wealth into our community. Development in recent times has stagnated particularly within Wyong Shire and this is an opportunity for Council to lead the way forward by developing a high quality tourist resort.

Based on the results it is recommended that Council resolve not to support any form of development on Crown Land south of the Lakes Surf Club.

It is also recommended that Council proceed to engage the community and investigate the site north of the Lakes Surf Club for the establishment of an eco resort.

## **ATTACHMENTS**

- |          |  |           |           |
|----------|--|-----------|-----------|
| <b>1</b> | Site Constraints Review - Possible Caravan Park Central Coast Highway Budgewoi - January 2010 (ref 9128b)  | Enclosure | D02828261 |
| <b>2</b> | Preliminary Report on Targeted Survey for Caladenia Porphyrea - Lakes Beach Budgewoi - November 2011 (ref 9128), including figure 1 - Location of Orchids and figure 2 - Additional search locations | Enclosure | D02828252 |
| <b>3</b> | Lakes Beach Precinct   | Enclosure | D02828369 |

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
1	Environment and Planning Services/General Counsel	9.5 - Notice of Motion – Sea Level Rise Notification 1 <i>Write to all property owners affected by the State Governments sea level rise policies.</i> 2 <i>Text of the letter be endorsed by Council.</i>	24 February 2010 Cr Eaton / Cr Graham	F2009/00067 A report will be submitted to Council once additional information has been provided by the General Counsel.
2	General Manager's Department - Major Projects	7.6 - Notice of Motion – Warnervale Town Centre Viability <i>Staff report on the viability of developing the 1,100 units proposed for Warnervale Town Centre and possible variation of proposed densities to ensure viable town centre development.</i>	12 May 2010 Cr Eaton / Cr Best	F2004/00535-07 D02226279 Major Projects has received and reviewed a draft consultants report, with comments, which anticipates the final report by June end 2012
3	Environment and Planning Services	8.1 - Notice of Motion – Clause 14 Fund Improving Conservation Outcomes <i>Investigate and report back to Council on the best use of the Clause 14 (3) (b), funds for improving conservation outcomes.</i>	14 July 2010 Cr Wynn / Cr Eaton	F2004/12208 Report drafted and being reviewed taking into account the CLEP template and proposed CLEP clauses. A report is being prepared for late 2012.
4	Corporate Services	Q109/10 – Regional Hospital Cutbacks <i>“It has been reported in the media that the Federal Government has redirected hospital funding into the regions, reportedly resulting in substantial cutbacks to our regional hospital at Gosford. As the Central Coast is a region and that the Federal Government funding adjustment was indicated to favour the regions how is it that this region appears to have suffered a health funding cutback?”</i>	13 October 2010 Cr Best	F2004/11290 A response will be submitted to a future meeting of Council. Email sent to D Jack 28/5/12

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
5	Environment and Planning Services	<p>6.5 - Notice of Motion - Destruction of Natural Environment and Indigenous Heritage at Norah Head</p> <p>1 <i>Acknowledge the community groups that contribute to the highly successful phenomena of whale watching at Norah Head.</i></p> <p>2 <i>Request the General Manager to provide a staff report on the resultant human impact on the natural environment around Soldiers Beach at Norah Head and the report should cover preliminary details of current and proposed initiatives available for Council's consideration in managing the escalating damage to the natural and indigenous heritage.</i></p> <p>3 <i>Request the report be prepared in partnership with the appropriate agencies and indigenous community.</i></p> <p>4 <i>That, upon consideration of the requested report, the local land council be invited to address the Council meeting.</i></p>	<p>13 July 2011</p> <p>Cr Best / Cr Vincent</p>	<p>F2004/00580</p> <p>Advice is being sought from the General Counsel. Following this the matter will be reported to Council in Mid 2012.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
6	Environment and Planning Services	<p>8.2 - Notice of Motion - Development Applications for Retail Liquor Outlets &amp; 8.6 Notice of Motion - Proliferation of Alcohol Outlets</p> <p>1 <u>Make representation to the Crime Prevention Partnership Committee to establish a working party of this group to provide advice on any Development Application submitted for a Retail Liquor Outlet.</u></p> <p>2 <u>If the crime prevention partnership Committee group can not form a working party then Council will <u>establish</u> a licensed premises reference group comprising of:</u></p> <p>a) Council Officers, including Rangers</p> <p>b) NSW Police Local Area Commander</p> <p>c) A NSW Office of Liquor and Gaming Representative</p> <p>d) Central Coast Area Health Representative</p> <p>3 <u>Reject the further proliferation of alcohol availabilities through the recent push by the Australian Association of Convenience Stores to sell alcohol in local petrol stations.</u></p> <p>4 <u>Make formal representation on behalf of its residents and ratepayers to the current Productivity Commission's Inquiry into the industry's proposal with the grounds for objection to include but not limited to:</u></p> <p>.....(Please see minutes for complete resolution.)</p>	<p>12 October 2011</p> <p>Cr Wynn / Cr Best</p>	<p>F2004/07052</p> <p>Meeting held to establish reference group. Councillor Business Update being prepared.</p>



No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
7	Environment and Planning Services	<p>8.2 – Notice of Motion – Wildlife Corridor Road Kill</p> <p>1 <u>Note</u> that its planned east-west major wildlife corridor is now being formalised.</p> <p>2 <u>Confirm</u> that it seeks to provide safe aerial and terrestrial passage through the corridor by addressing safety in the 2 major road networks (the F3 and the Pacific Highway) that cut through the corridor causing major wild life road kill issues.</p> <p>3 <u>Seek</u> assistance from the NSW RTA and the Federal Government to address the issue of safer wild life corridor crossings as seen on the NSW mid north coast.</p> <p>4 <u>Receive</u> a report on the outcomes with regard to the request for assistance from the NSW RTA and the Federal Government.</p>	<p>14 December 2011</p> <p>Cr Best / Cr Wynn</p>	<p>F2004/06946 - D02871564</p> <p>Letters sent, when all responses received a report will be submitted to Council.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
8	Environment and Planning Services	<p>8.4 – Notice of Motion – Westfield \$750m Tuggerah Development (JOBS, JOBS, JOBS)</p> <p>1 <i>Note the preparedness of Westfield Group to commence its 750 million dollar Tuggerah Gateway development adjoining the F3 Freeway.</i></p> <p>2 <i>Note that the development will be modelled on the highly successful Norwest Business Park concept and will deliver some 2,000 jobs during construction, over 7,000 jobs on completion and delivering a total of 35,000 jobs in the region over the next 20 years.</i></p> <p>3 <i>Reaffirm its commitment to local job generation, having regard to this region's unemployment rate of twice the state average and a youth unemployment rate of a massive 32%.</i></p> <p>4 <i>Seek to further advocate to have the necessary State Government zonings and approvals expedited, while recognising that it is not the consent authority.</i></p> <p>5 <i>Request the General Manager to report on the progress of the development to date and any impediments which are delaying the delivery of this key infrastructure and job generating project.</i></p>	14 December 2011 Cr Best / Cr Eaton	<p>F2009/01895 - D02871566</p> <p>Letter sent to DoPI 21 December 2011.</p> <p>Following a response from Department of Planning and Infrastructure, a report will be submitted to Council.</p>
9	Environment and Planning Services	<p>Q34/11 – Purchase of Sections of Remaining Undeveloped Land at Wadalba Hill</p> <p><i>“Could staff please advise on any State or Federal funding schemes that may be available to purchase sections of the remaining undeveloped land at Wadalba Hill for conservation purposes?”</i></p>	14 December 2011 Cr Vincent	<p>F2005/00562</p> <p>A report is being prepared for submission to a Council meeting mid 2012.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
10	Environment and Planning Services	<p>8.5 - Notice of Motion - Granny Flat, Second Dwelling Contribution Waiver</p> <p>1 <u>Reaffirm</u> its commitment to the principles of affordable housing and its importance in assisting a broad cross section of our community and recognise that Section 94 contributions may be prohibitive to many affordable housing projects.</p> <p>2 <u>Note</u> the decision of Gosford City Council to assist in facilitating affordable housing through the trial waiver of Section 94 contributions for granny flats.</p> <p>3 <u>Support</u> this initiative thereby establishing a regional approach to affordable housing.</p> <p>4 <u>Waive</u> Section 94 contributions for granny flats on a trial basis till September 2012, concurrent with Gosford City Council and that the outcome of this be reported to Council.</p> <p>5 <u>Receive</u> the report in a timeframe for inclusion in the 2012-13 Annual Plan.</p> <p>6 <u>Implement</u> the trial by way of reporting those relevant development applications to Council for determination.</p>	<p>8 February 2012</p> <p>Cr Best / Cr Symington</p>	<p>F2004/00552</p> <p>Councillor update issued 23 February 2012 outlining the implementation of this resolution.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
11	Environment and Planning Services	<p>8.6 - Notice of Motion - Ongoing Approval from State Government for Part 5 Assessments for Maintenance Works</p> <p>1 <u>Request</u> the General Manager to investigate options contained within relevant legislation to enable longer term approvals (including licences) to be issued for annual and repeat activities undertaken by Council within, on the foreshore and adjacent to the Shire's lakes, and other locations in relation to Part 5 Assessments.</p> <p>2 <u>Request</u> the General Manager to report back on the current costs borne by Council due to the need to apply for approvals and licences on an individual basis, with a view to minimising and/or avoiding any unnecessary waste of staff resources and ratepayer funds.</p>	8 February 2012 Cr Symington / Cr Eaton	<p>F2004/07773</p> <p>Input being sought from Council's Legal Counsel. Letters will then be prepared to various State Government Departments.</p> <p>A report will be prepared once advices are received.</p>
12	Environment and Planning Services	<p>8.7 - Notice of Motion - Tree Vandalism Norah Head</p> <p>1 <u>Note</u> with concern acts of environmental vandalism in relation to the poisoning of several mature trees in Mazlin Reserve at Norah Head.</p> <p>2 <u>Direct</u> the General Manager to urgently prepare a report regarding the actions and responses available to Council concerning acts of environmental vandalism in general, and specifically in relation to the poisoning of several mature trees in Mazlin Reserve at Norah Head.</p> <p>3 <u>Direct</u> the General Manager to discuss the possibility and capacity of Council to erect and maintain a "view blocking" barrier in the report.</p>	8 February 2012 Cr Symington / Cr Wynn	<p>F2012/00194</p> <p>A report on this item is included in the 27 June 2012 Business Paper.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
13	Community and Recreation Services	<p>7.2 – Notice of Motion – Completion of Lake Cycleway</p> <p>1 <i>Reiterate</i> its support for the missing link cycleway connection through Wyrabalong National Park at North Entrance, as a priority project.</p> <p>2 <i>Seek</i> to convene a working group, consisting of the members for The Entrance and Wyong and representatives of the Premiers Office, the National Parks and Wildlife Service, Councillors and Council staff, to progress this key initiative.</p> <p>3 <i>Seek</i> additional funding resources for the project.</p>	<p>14 March 2012 Cr Eaton / Cr Best</p>	<p>F2004/07891 A meeting is being organised before the end of June 2012 subject to all parties being available.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
14	General Manager's Department – Major Projects  Community Recreation Services and	<p>8.1 – Notice of Motion – Opportunities for Trade and Tourism in China</p> <ol style="list-style-type: none"> <li>1 <u>Investigate</u> the opportunities for developing direct trading arrangements with specific official entities in China.</li> <li>2 <u>Recommend</u> the post 2012 elections incoming Council consider undertaking a study tour of China for the objective of developing trade.</li> <li>3 <u>Initiate</u> formal discussions with Pudong district government Shanghai with a view to entering into an alliance agreement focussing on tourism, trade and investment.</li> <li>4 <u>Initiate</u> discussions with Zhabei district, Shanghai, Dongying city and other interested Chinese cities to develop tourism cooperation agreements, subject to material progress occurring in respect of the Chinese Theme Park development in Wyong.</li> <li>5 <u>Recommends</u> the organizers of Tuggerah Lakes Mardi GRAS to invite Zhabei district to participate in the 2012 event.</li> <li>6 <u>Consider</u> an Investments and Promotions Committee when reviewing the Committee Structure late in 2012.</li> </ol>	26 April 2012 Cr Eaton / Cr Best	<p>F2004/07101</p> <p>Resolutions 1-4 - a response will be submitted to Council pending the outcome of the issue relating to the China Theme Park.</p> <p>Resolution 5 Correspondence to be sent to organisers to arrange invitation.</p> <p>Resolution 6 Matter will be considered in the committee review later in 2012.</p>
15	Environment and Planning Services	<p>8.2 – Notice of Motion – Jilliby Stage 2</p> <ol style="list-style-type: none"> <li>1 <u>Recognise</u> the shortage in the Shire of the type of residential land proposed in the Jilliby Stage 2 rezoning proposal, the need to provide a variety of housing choice and the employment and economic benefits that purchasers of such housing types generally bring to the area.</li> <li>2 <u>Includes</u> the rezoning of the Jilliby Stage 2 lands to R5 large lot residential zoning as detailed in planning proposal RZ/2/2012, into the draft LEP to enable it to be exhibited for public comment.</li> </ol>	26 April 2012 Cr Eaton / Cr Best	<p>F2004/07706</p> <p>Incorporated in draft CLEP document to be forwarded to DoPI.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
16	Environment and Planning Services	<p>8.3 – Notice of Motion – Tuggerah Lakes Unsustainable Fishery</p> <p>1 <i>Note with great concern that a large number of professional fishermen are legally able to access Tuggerah Lakes as a consequence of some two decades of licensing restructure, waterways closures and unsuccessful buy back programs.</i></p> <p>2 <i>Seek confirmation from Department of Primary Industries – Fisheries NSW as to the exact number of licences that allow access to Tuggerah Lakes and what current initiatives are in place to guarantee the fishery and environmental sustainability of the Lakes.</i></p> <p>3 <i>Note that angling nationally is a billion dollar per annum industry and a major employer of Central Coast residents.</i></p> <p>4 <i>Seek guidance from Central Coast Tourism Inc. and the Professional Fishing Association (PFA) as to the potential tourism and local lifestyle benefits that would flow from more recreational sustainable fishery.</i></p> <p>5 <i>Notes that Australian Tourism groups have found there to be a high level of interest in watching Commercial Fishers ply their time honored traditional methods which involve no high tech aids and are based on the same methods used on Tuggerah Lakes for the last 150 years.</i></p> <p>6 <i>Note there is a growing trend in Australians consumer behaviour to demand local fish and crustacean supplies from a trusted Australian controlled source to ensure quality and food safety. In fact, the mullet fishery was named only last week as one of the most sustainable fisheries and hence people should be eating this fish. Mullet is one of the major fish catches by Commercial Fishers in the Tuggerah Lake system and is not targeted by recreational anglers.</i></p>	26 April 2012 Cr Best / Cr Eaton	F2004/07986  Letters have been issued.

No	Department	Question Asked / Resolution	Meeting Councillor Asked/	Status
		<p>7 <u>Note</u> that the Tuggerah Lakes are owned and controlled by the NSW state government.</p> <p>8 <u>Lobby</u> its local members to request a report from the Minister for Primary Industries with regard to the current sustainability of the fishery, around issues of licensing proliferation with access to Tuggerah Lakes also as to what further initiatives are available to better manage the environment such as but not limited to a voluntary buy back scheme or licence limiting over geographic boundaries .</p> <p>9 That Wyong Shire Council, through its Tuggerah Lakes Estuary and Coastal Management Committee and Tuggerah Lakes Estuary Plan <u>is continually working</u> to improve the water quality and habitat of the Tuggerah Lakes and its environs which will also enhance sustainability of this fishery.</p>		
17	Community and Recreation Services	Q14/12 - Graffiti in Woodward Avenue, Wyong <i>"I recently received a complaint as to graffiti on fences in Woodward Avenue Wyong. On inspection there is significant graffiti on fences surrounding the park. Can Council investigate hedge or other appropriate plantings to screen the fences around the park to prevent/deter graffiti?"</i>	26 April 2012 Cr Eaton	F2004/07718 A response to this question will be provided at the 27 June 2012 meeting.
18	Environment and Planning Services	Q15/12 - Progress on Iconic Sites <i>"Can staff send out a business update (confidential if necessary) outlining progress on all of the iconic sites?"</i>	26 April 2012 Cr Eaton	F2010/02196 A Councillor Business Update has been issued in response to this question.



No	Department	Question Asked / Resolution	Meeting Councillor	Asked/	Status
19	Infrastructure Management	<p>Q17/12 - Carbon Tax Local Tipping Fee Increases</p> <p><i>"The carbon tax will result in a huge tipping fee increase I understand it is in the order of some \$30 per household. Could staff please confirm the exact figure per household and per tonne and as to what proactive and preventative measures will be taken in anticipation of an escalation of illegal tipping in local bushland?"</i></p>	9 May 2012 Cr Best		<p>F2004/06579 - D03003222</p> <p>Investigations will take place and response will be submitted to a future meeting of Council.</p>
20	Environment and Planning Services	<p>Q18/12 - Sea Level Rise Outrage</p> <p><i>"Madam Acting General Manager, as reported in the local media the coast community is outraged at the prospect and impact of proposed sea level rise policy particularly as it will affect in Wyong Shire alone some 20 local suburbs and up to 10,000 individual homes. As this draft policy is having a profound affect on insurance and property value issues, planning, building and site usages, I respectfully request this matter now be reported urgently to Council. Could staff please advise when this would be?"</i></p>	9 May 2012 Cr Best		<p>F2009/00067 - D03003223</p> <p>Awaiting further clarification from the Councillor in relation to this question.</p> <p>↓</p>
21	Infrastructure Management	<p>9.1 Notice of Motion - Private Construction of Footpath on Southern Side of Alison Road, Wyong</p> <p>1 <u>request</u> the General Manager to report on the circumstances surrounding the private construction of the footpath situated on the southern side of Alison Road, Wyong.</p> <p>2 That Council <u>request</u> the General Manger to include in the report, but not be limited to, the following:</p> <ul style="list-style-type: none"> <li>▪ the Council approvals required and the approvals obtained</li> <li>▪ any potential liability and ongoing maintenance issues/costs to Council.</li> </ul>	9 May 2012 Cr Graham/Cr Wynn		<p>A report on this matter will be submitted to Council at its 13 July 2012 meeting.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
22	Environment and Planning Services	<p>9.2 Notice of Motion – Ausgrid</p> <p><i>request the General Manager to invite Ausgrid to attend a briefing with Councillors and Senior staff to discuss the following topics:</i></p> <ul style="list-style-type: none"> <li>a <i>Masterplanning of future urban precincts to achieve improved coordination of the location of Ausgrid infrastructure with Council landscaping and street tree planting programs.</i></li> <li>b <i>Enhanced engagement and communication with the community regarding Ausgrid tree maintenance programs and schedules.</i></li> <li>c <i>Request Ausgrid to formally commit to the undergrounding of power lines whenever upgrading and/or relocating existing power lines within urban areas.</i></li> <li>d <i>Invite Ausgrid to be involved in the review of Council’s Landscaping Chapter of Development Control Plan 2012 with respect to the selection of appropriate species for street planting.</i></li> <li>e <i>Request Ausgrid to agree that in circumstances where it carries out significant vegetation maintenance on a major road/visually prominent location (such as Wyong Road), Ausgrid will replace the existing vegetation with more appropriate species that will not require significant future maintenance.</i></li> </ul>	<p>9 May 2012</p> <p>Cr Wynn/Symington</p>	<p>Investigations will take place and outcome will be submitted to a future meeting of Council.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
23	Environment and Planning Services	<p>9.3 Notice of Motion - Assisting Housing Affordability</p> <p>1 <i>agree in principle to vary its policy to allow collection of s94 contributions for the contributions to be deferred until later in the development process.</i></p> <p>2 <i>request the General Manager to report on possible implementation procedures and benefits and disbenefits back to Council for approval prior to adoption.</i></p>	<p>9 May 2012 Cr Eaton/Cr Best</p>	<p>Investigations will take place and outcome will be submitted to a future meeting of Council.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
24	Infrastructure Management	<p>7.1 Notice of Motion - Reduce Single Use Plastic Bag Use in Wyong Shire</p> <p>1 That Council <u>acknowledge</u> the efforts taken by some local businesses, residents and environmental groups to reduce the number of single-use plastic shopping bags used throughout the Shire.</p> <p>2 That Council <u>acknowledge</u> that single-use plastic bags in the waste stream cause pollution, lasting many hundreds of years as they photo degrade rather than biodegrade into ever smaller pieces. The bags are a major litter problem in our parks, bush land and waterways and can result in the injury and death of many animal species both inside and outside of Wyong Shire such as turtles, cetaceans and birds.</p> <p>3 That Council <u>write</u> to State and Federal Government Ministers urging them to introduce legislation that would ban or impose a levy on free single use plastic shopping bags as a timely measure that:</p> <ul style="list-style-type: none"> <li>▪ shows solidarity with the stated position of the LGSA in supporting extender producer responsibility by retailers and waste reduction at the source,</li> <li>▪ notes the lack of legislation to impose a levy on free single-use plastic bags</li> <li>▪ reinforces a levy or ban as an important NSW state and national measure to decrease packaging litter, already successfully modeled by national retailers, Target, Aldi and Bunnings; by legislation passed in the states of South Australia, Northern Territory and ACT; by towns such as Coles Bay (Tasmania) and Mogo (southern NSW) in 2003, and planned by the City of Freemantle Council in 2012.</li> </ul> <p>4 That Council contact major retailers to</p>	23 May 2012- Cr Wynn/Cr Vincent	Staff are investigating options. Director will meet with Cr Wynn on 6 June for further discussion.

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
25	Corporate Services	<p>7.3 Notice of Motion - Enhancing Planning Flexibility and Business Viability</p> <p>1 That Council <u>proceed</u>, as soon as practicable, to place on public exhibition its draft Settlement Strategy, subject to Department of Planning and Infrastructure concurrence.</p> <p>2 That Council <u>proceed</u>, as soon as practicable to place on public exhibition those parts of the draft DCP, that can be adopted prior to the DLEP, which would increase planning flexibility and/or development viability, including but not limited to the car parking and engineering chapters.</p> <p>3 That Council <u>authorise</u> the General Manager to determine which parts of the DCP to proceed to exhibition.</p> <p>4 That Council <u>nominate</u> an exhibition period of two months.</p> <p>5 That Council <u>receive</u> a further report on the results of the exhibition including consideration of adoption of these policies.</p>	<p>23 May 2012 Crs Eaton/Webster</p>	<p>Investigations will take place and response will be submitted to a future meeting of Council.</p>

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
26	Environment and Planning Services	<p>7.4 Notice of Motion - Mardi Old Farm Rezoning</p> <p>1 That Council <u>reiterate</u> its support for the Mardi Old Farm rezoning project.</p> <p>2 That Council <u>note</u> that the Mardi Old Farm Rezoning has been supported by Council for at least 15 years, is located close to Westfield Tuggerah, is not in the water catchment and can be sewerred.</p> <p>3 That Council <u>direct</u> the General Manager to provide priority treatment to the project and allocate staff accordingly.</p>	23 May 2012 Crs Eaton/Best	Investigations will take place and response will be submitted to a future meeting of Council.
27	Corporate Services	<p>Q19/12 Buy Local Festival</p> <p><i>"Could staff please provide a report on Council's support and presence at the recently held Buy Local Festival?"</i></p>	23 May 2012 Cr McBride	A Councillor Business update is being prepared.
28	Infrastructure Management	<p>Q20/12 Theiss Rubbish Removal</p> <p><i>"Mr General Manager, I have received complaints from ratepayers over the exorbitant amount of time they have to waste on the phone to get a kerbside collection, also the automated phone ordering system is not working well. Could staff report on how we can get Theiss to comply with our requirements and deliver timely service to our ratepayers?"</i></p>	23 May 2012 Cr Best	Investigations will take place and response will be submitted to a future meeting of Council.

No	Department	Question Asked / Resolution	Meeting Asked/ Councillor	Status
29	Infrastructure Management	Q21/12 Warnervale Hall White Ant Infestation  <i>“Mr General Manager, I note on the front page of this Business Paper 23 May 2012 we are highlighting the good work done by staff in the major renovations to the Warnervale Hall. Could staff please advise how this hall became white ant infested as I believe we have a rigorous infrastructure maintenance and management plan in place for all assets?”</i>	23 May 2012  Cr Best	Investigations will take place and response will be submitted to a future meeting of Council.

**QUESTIONS ON NOTICE AND NOTICES OF MOTION REMOVED SINCE  
23 MAY 2012**

	Department	Question on Notice / Notice of Motion	Date Asked/ Councillor	Status
1	Infrastructure Management	7.1 - Notice of Motion - Regional Push to Reinstate F3 Link	25 May 2011 Cr Best / Cr Eaton	The response to this NOM was submitted in the report – <i>Proposed Major Transport Infrastructure Projects</i> included in the 23 May 2012 Agenda.
2	Infrastructure Management	8.4 - Notice of Motion - Fast Tracking Warnervale Road	8 February 2012 Cr Best / Cr Eaton	Options for fast tracking the project were investigated and presented to Councillors at the February Councillor Workshop.  Council has submitted an application for this project under the Local Infrastructure Renewal Scheme, with the outcome of this proposal to be announced at an undetermined date. Withstanding the outcome of the grant application, the project has also been incorporated within the draft 2012/13 budget currently on public exhibition with the source of funding through both S.94 and the drainage fund.
3	Corporate Services	Q29/11 - Carbon Tax on Council	9 November 2011 Cr Best	A response is included in the 23 May 2012 Business Paper
4	General Manager's Department Legal and Risk	Q13/12 - 8 Bush Road, Norah Head	26 April 2012 Cr Symington	Response to this question provided in 23 May 2012 Confidential Business Paper.
5	General Manager's Department	Q16/12 - Audit Tender CCWC	26 April 2012 Cr Best	Response to this question provided in 23 May 2012 Business Paper.
6	Community and Recreation Services	7.4 – Notice of Motion – Community Forum to Discuss Access and Disability within the Shire	14 March 2012 Cr McBride / Cr Matthews	Required actions are to be combined with International Day for People with a Disability, to be held in December 2012.