

Key

- Roof
- Floor
- Wall
- Window
- Door
- Stair
- Foundation

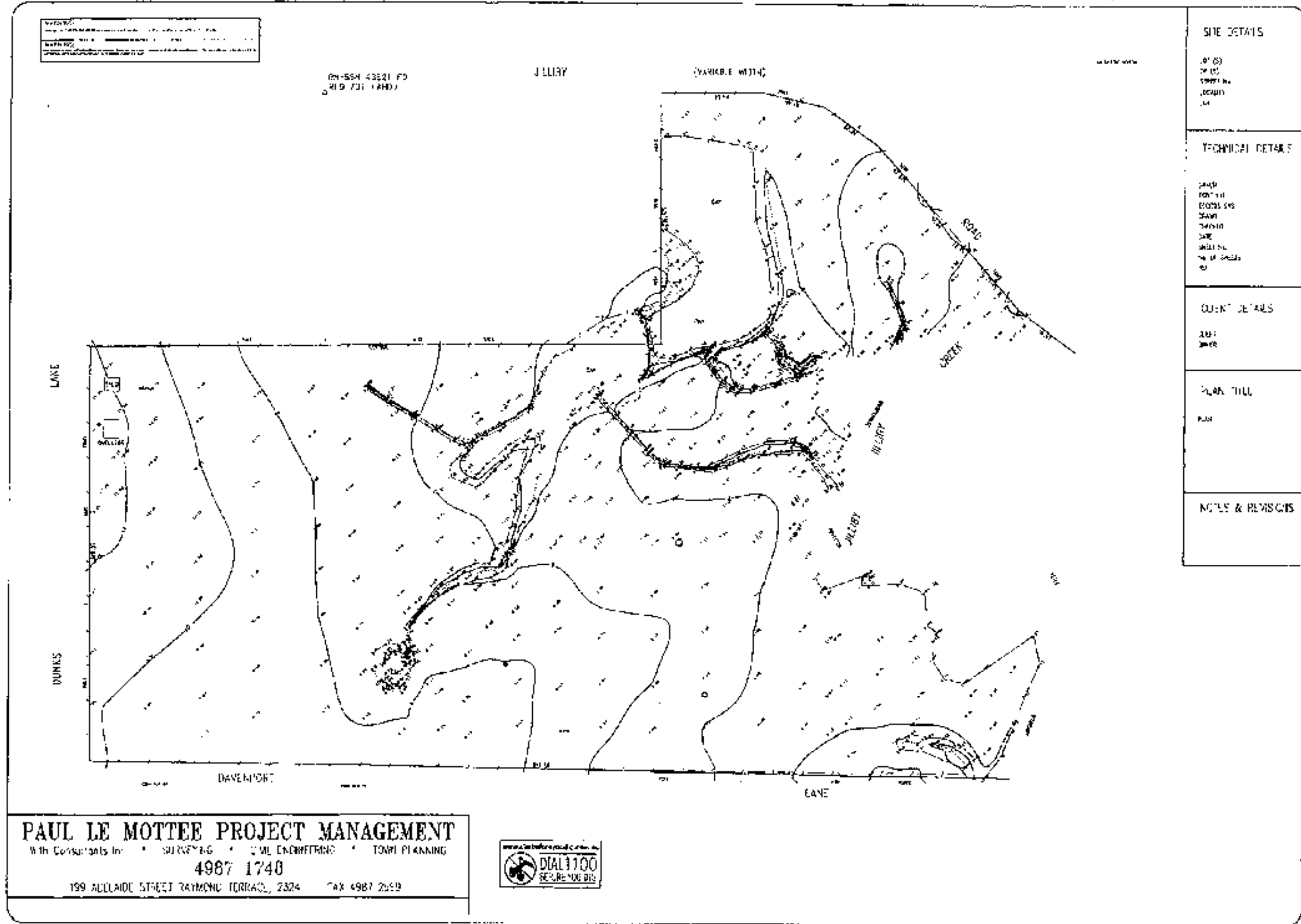
Legend Building Material

- Concrete
- Brick
- Masonry
- Timber
- Insulation
- Gypsum
- Glass

Block F
Plans, sections & elevations

Scale: 1:100
Date: 2024-10-27





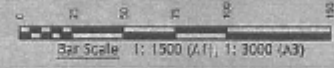
Plan of: PROPOSED SUBDIVISION OF PART LOT 42 IN D.P. 755271
 Location: No. 33 DUNKS LANE JILLIBY
 Council: WYONG SHIRE
 Datum: N/A
 Origin: N/A
 Projection: N/A
 North Direction: Grid
 Contour Interval: N/A
 Date: 14th DECEMBER 2011
 Sheet: 1 of 1
 Plan by: K.T.
 Project Manager: A.O.
 Office: Central Coast
 Plan Purpose: D.A.
 Version: B (14th December 2011)
 Client: MR. P. CCNACHER
 Survey: S/180143v.12d/180143.pjt
 AutoCAD: S/180143v.180143-DA-002-B
 Our Ref: 180143



- (A) RIGHT OF CARRIAGEWAY 4.1 M WIDE
- (B) EASEMENT FOR WATER SUPPLY OVER EXISTING LINE OF PIPES (APPROXIMATE LOCATION)

Ver.	Date	Comment
B	14/12/2011	FLOOD STORAGE EXTENT ADDED
A	12/12/2011	PRELIMINARY ISSUE

NOTES:
 1. ALL AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY.
 2. THE POSITION OF FEATURES AS SHOWN ON IMAGE, IN RELATIONSHIP TO THE SITE BOUNDARIES, ARE APPROXIMATE ONLY.
 3. SOURCE OF IMAGE: GOOGLE EARTH.



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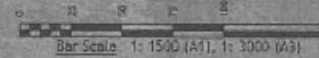
Plan of: PROPOSED SUBDIVISION OF PART LOT 42 IN D.P. 755271
 Location: No. 33 DUNKS LANE JILLIBY
 Council: WYONG SHIRE
 Datum: N/A
 Origin: N/A
 Projection: N/A
 North Direction: Grid
 Contour Interval: N/A
 Date: 12th DECEMBER 2011
 Sheet: 1 of 1
 Plan By: G.H.
 Project Manager: A.O.
 Office: Central Coast
 Plan Purpose: D.A.
 Version: A (12th December 2011)
 Client: MR. P. CONACHER
 Survey: S:\180143\...12d\180143.pjt
 AutoCAD: S:\180143\...180143-DA-002-A
 Our Ref: 180143



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DRAWING LIST

DA-001	COVER SHEET	A10
DA-002	SITE PLAN & SIGNAGE SCHEDULE	A100
DA-003	RETAIL FLOOR PLAN	A100
DA-004	ROOF PLAN	A100
DA-005	ELEVATIONS	A100
DA-006	DETAILED ELEVATIONS	A100
DA-007	SECTION	A100
DA-008	SITE ARRANGEMENT	A100

SITE CALCULATIONS - GROUND FLOOR AREA

SITE AREA	4811m ²
- F.O.I. - LAND SERVICE AREA	3611m ²
PERCULATIONS	TOTAL GROUND FLOOR AREA
	100%
	100%
	100%
	100%

LAND USE SUMMARY

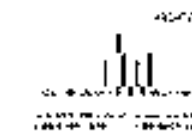
STANDARD CAR PARKING	88 CAR SPACES
DISABLED PARKING (in 480A)	10 CAR SPACES
TOTAL RETAIL CAR SPACES (in 480A)	98 CAR SPACES

ALDI Store
 Cnr. Pacific Highway & North Road
 Wyong

JUNE 2012

Development Application
Submission
September 2012

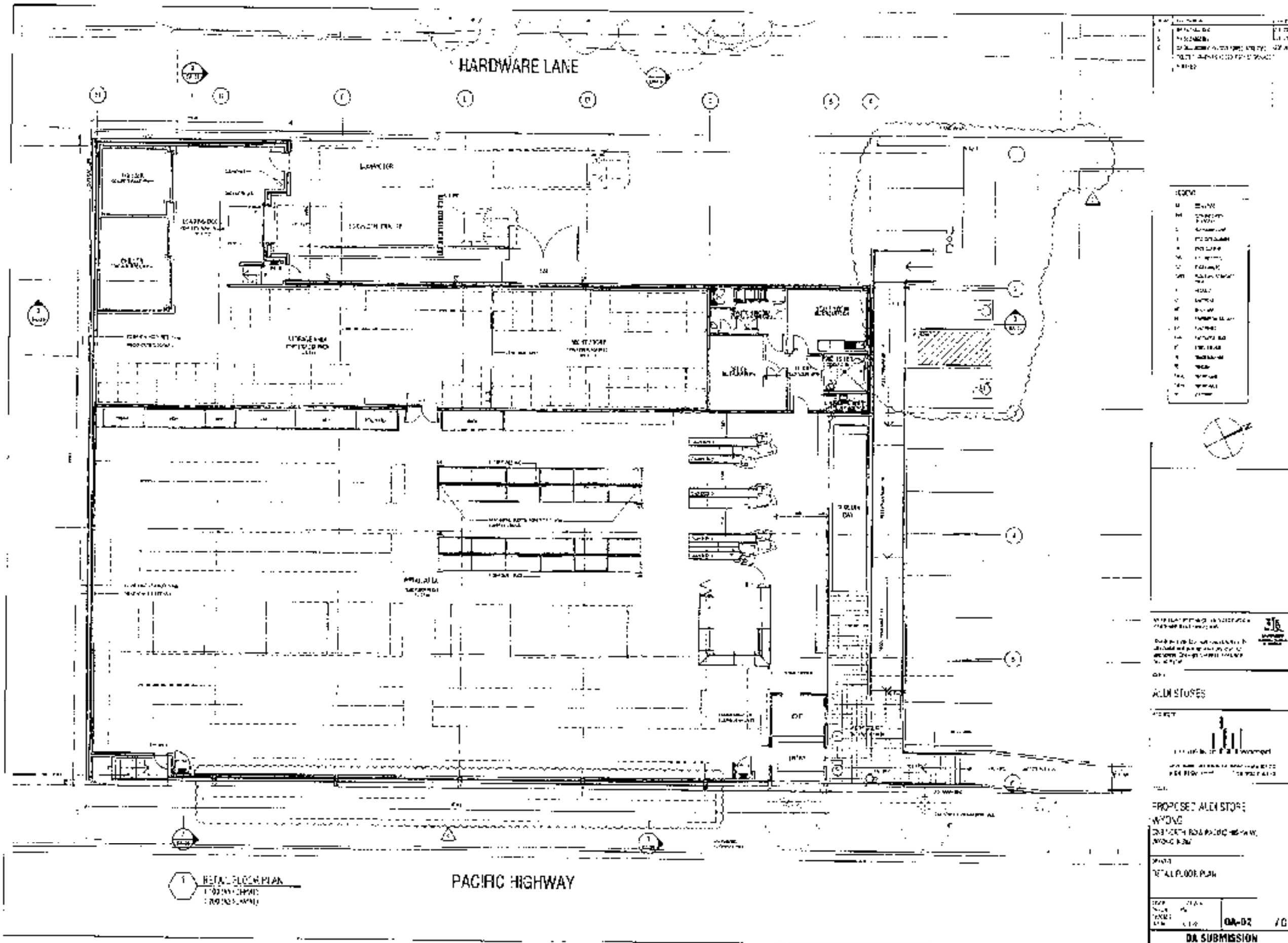
ALDI

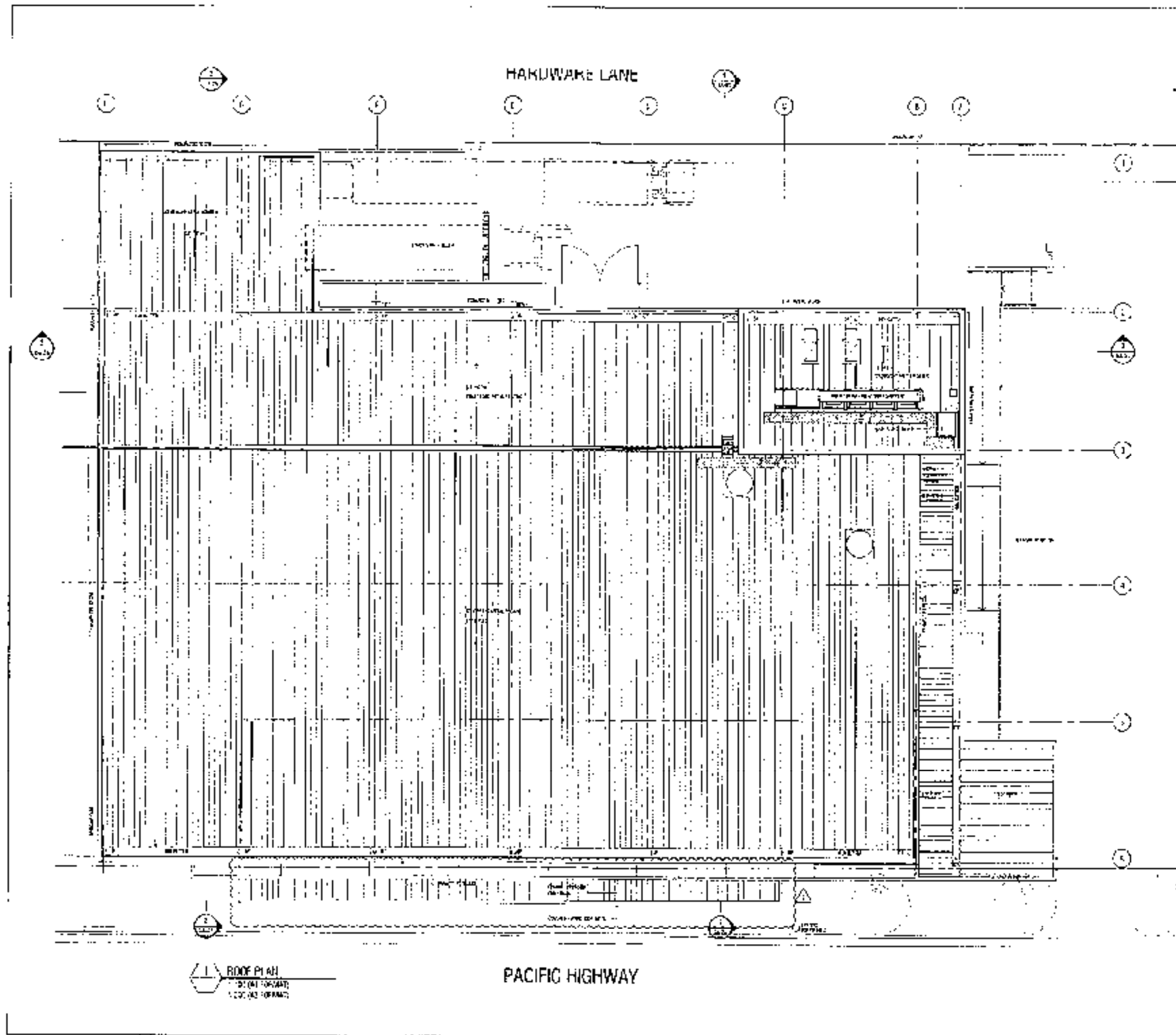


Location Plan

Consultants

<p>Architect Baker Ryan Stewart T: 02 4379 0000 (Sydney) F: 02 4377 5056 (Coffs Harbour)</p>	<p>CEA Officer Steve Walker & Partners T: 02 4377 5056 F: 02 4377 5056</p>	<p>Structural Engineer Hill Moxley Parkhurst Thornton T: 02 4377 5056 F: 02 4377 5056</p>	<p>Hydraulic Consultant M&M Environmental Design Group T: 02 4377 5056 F: 02 4377 5056</p>	<p>Electrical Consultant W&B Electrical T: 02 4377 5056 F: 02 4377 5056</p>	<p>Mechanical Consultant Price & Associates T: 02 4377 5056 F: 02 4377 5056</p>	<p>Accounting Consultant J&K Accountants T: 02 4377 5056 F: 02 4377 5056</p>
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1 ROOF PLAN
1:1 (A1 FORMAT)
1:20 (A3 FORMAT)

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	20/01/2024
2	ISSUED FOR PERMIT	20/01/2024
3	ISSUED FOR PERMIT	20/01/2024

SYMBOL	DESCRIPTION
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	CEILING
(Symbol)	FLOOR
(Symbol)	ROOF
(Symbol)	STAIR
(Symbol)	ELEVATION
(Symbol)	SECTION
(Symbol)	GRID LINE
(Symbol)	PROPERTY LINE
(Symbol)	ROAD CENTERLINE
(Symbol)	UTILITY
(Symbol)	PLANTING
(Symbol)	LANDSCAPE
(Symbol)	PAVING
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	GRAVEL
(Symbol)	SOIL
(Symbol)	ROCK
(Symbol)	WATER
(Symbol)	SEWER
(Symbol)	ELECTRICITY
(Symbol)	TELEPHONE
(Symbol)	CABLE
(Symbol)	PLUMBING
(Symbol)	Mechanical
(Symbol)	Structural
(Symbol)	Foundation
(Symbol)	Retaining Wall
(Symbol)	Drainage
(Symbol)	Lighting
(Symbol)	Signage
(Symbol)	Other

Architectural drawing showing site plan details and a north arrow.

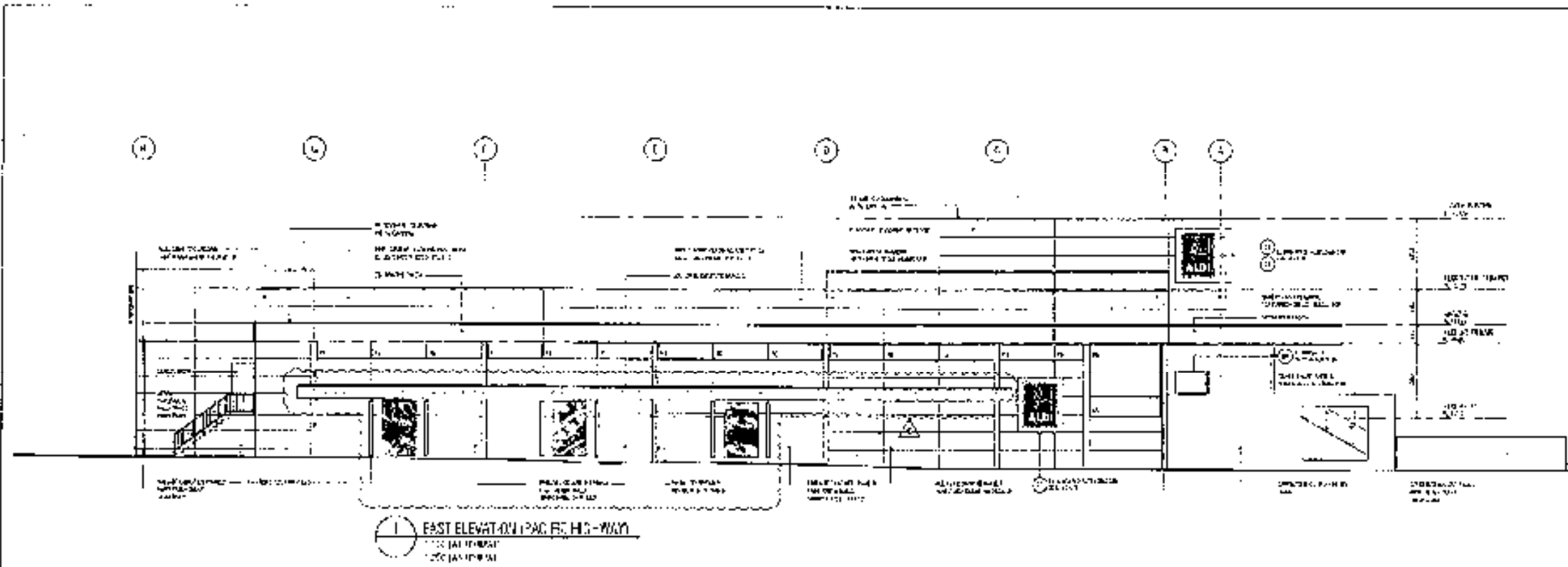
PROVISIONS

Architectural drawing showing site plan details and a north arrow.

PROPOSED A/C STORE
 27/01/2024
 1000 PACIFIC HIGHWAY
 WINDYBUSH, NSW

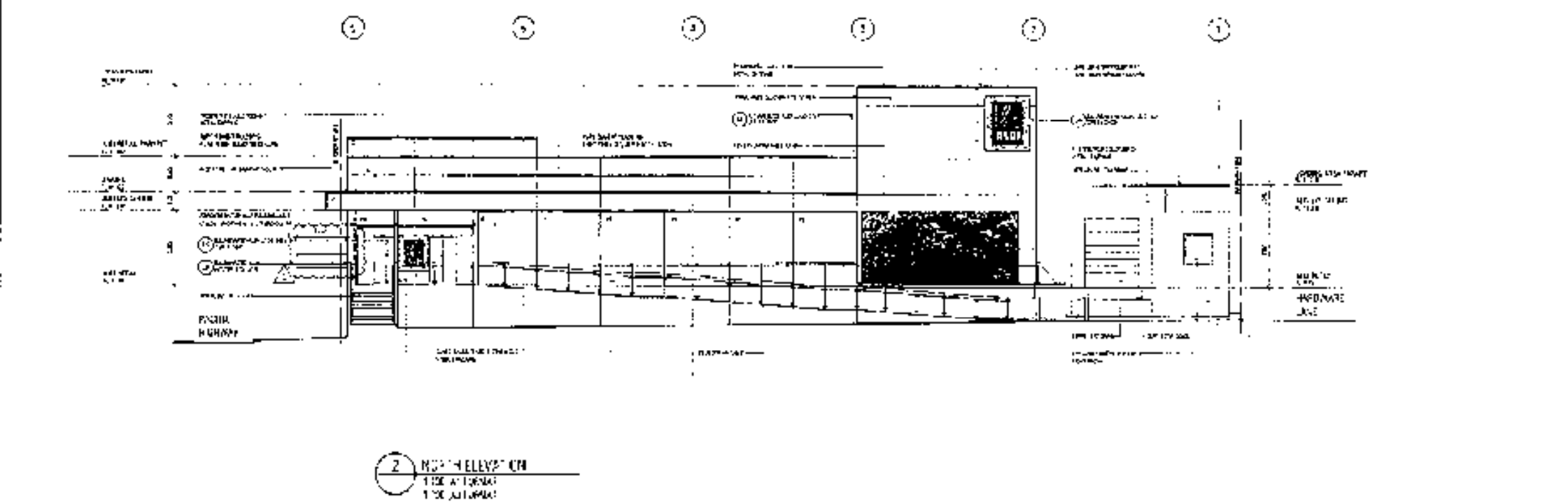
DATE: 20/01/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]

04-03 / 0
 DA SUBMISSION



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2014/07/01
2	AS SHOWN	2014/07/01
3	REVISIONS TO PERMIT	2014/07/01
4	ISSUED FOR PERMIT	2014/07/01

NO.	DESCRIPTION
1	WALL
2	GLASS
3	GLASS
4	GLASS
5	GLASS
6	GLASS
7	GLASS
8	GLASS
9	GLASS
10	GLASS
11	GLASS
12	GLASS
13	GLASS
14	GLASS
15	GLASS
16	GLASS
17	GLASS
18	GLASS
19	GLASS
20	GLASS
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25	GLASS
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27	GLASS
28	GLASS
29	GLASS
30	GLASS



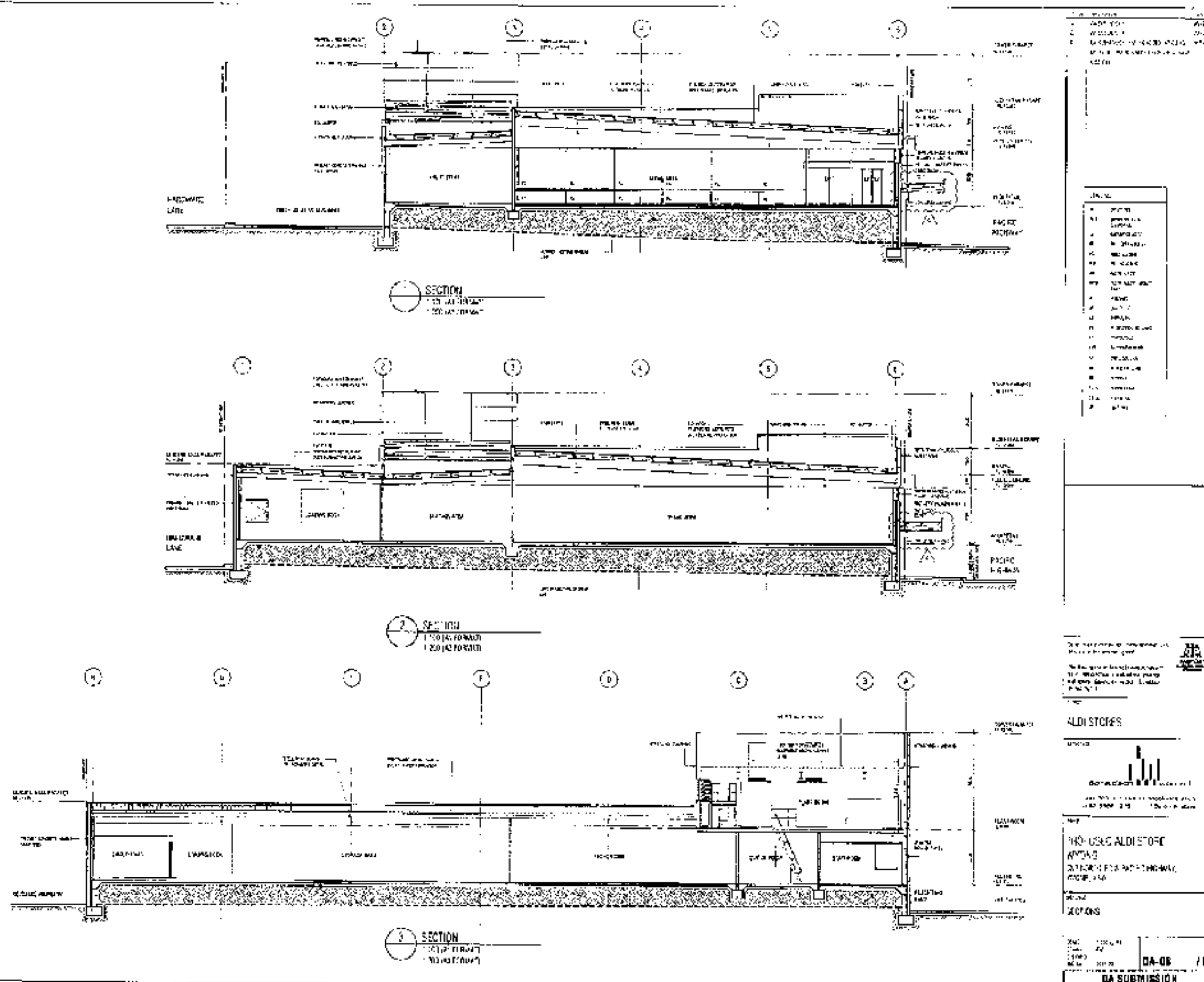
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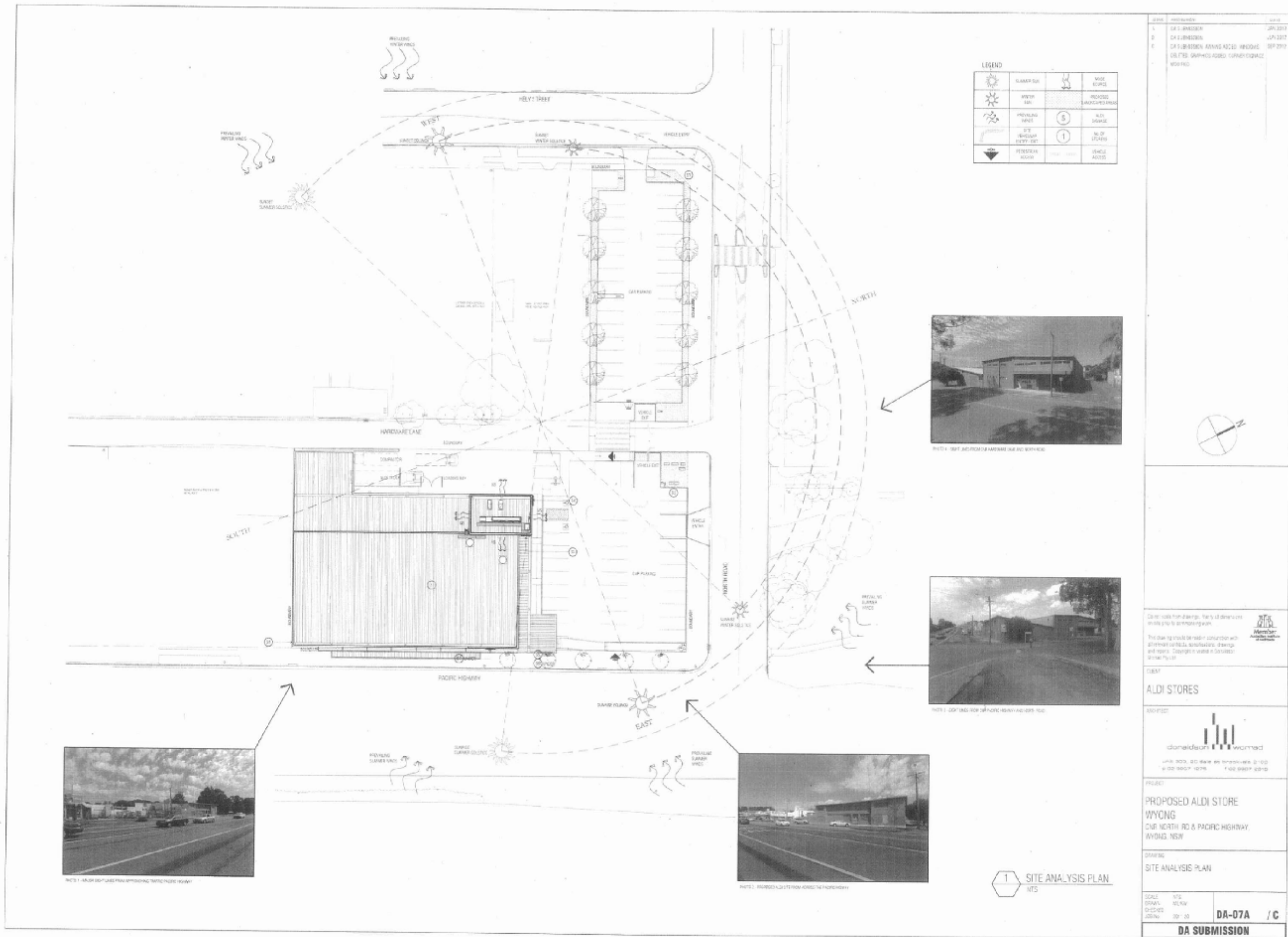
ADDITIONS



PROPOSED ALDI STORE
 100 PACIFIC HIGHWAY
 WYNDHAM
 VIC 3208

DATE	2014/07/01
SCALE	1:100
PROJECT	DA-04 / D
DA SUBMISSION	





REV	DESCRIPTION	DATE
1	DA SUBMISSION	JUN 2017
2	DA SUBMISSION	JUN 2017
3	DA SUBMISSION REVISED ACCORDING TO COMMENTS	SEP 2017
4	DA SUBMISSION REVISED ACCORDING TO COMMENTS	SEP 2017

LEGEND

	GLASS CURTAIN WALL		WIND BREAK
	WIND BREAK		PROPOSED LANDSCAPING
	PROPOSED WIND BREAK		ALDI STORE
	VEHICLE ACCESS		NO. OF STALLS
	VEHICLE ACCESS		VEHICLE ACCESS

Notes: 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
 3. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
 4. THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.

PROJECT
ALDI STORES

ADDRESS:

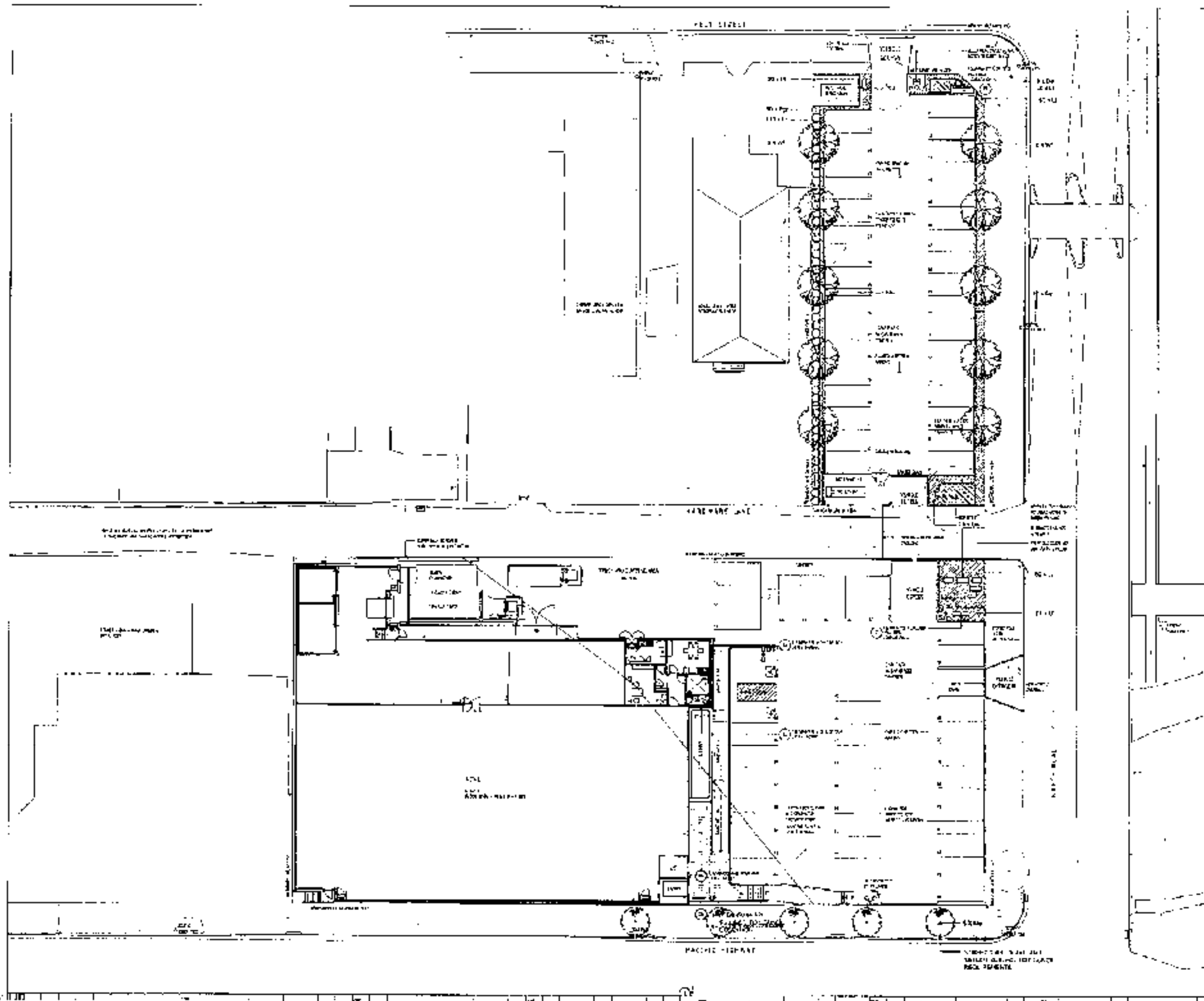
 DONALDSON WORRIED
 1/100 WYONG RD, WYONG NSW 2269
 PH: 02 8937 1076 FAX: 02 8937 1076

PROPOSED ALDI STORE
 WYONG
 CNR NORTH RD & PACIFIC HIGHWAY,
 WYONG, NSW

DRAWING
 SITE ANALYSIS PLAN

SCALE: SITE PLAN 1:500
 DATE: 2017/06/01
 DRAWN BY: J. SMITH
 CHECKED BY: J. SMITH
DA-07A / C
DA SUBMISSION

1 SITE ANALYSIS PLAN
 NTS



NOTES
 1. The applicant is to ensure that the proposed development is in accordance with the relevant provisions of the Resource Management Act 1991 and the relevant provisions of the Resource Management Act 1991 and the relevant provisions of the Resource Management Act 1991.
 2. The applicant is to ensure that the proposed development is in accordance with the relevant provisions of the Resource Management Act 1991 and the relevant provisions of the Resource Management Act 1991 and the relevant provisions of the Resource Management Act 1991.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR COMMENT	10/11/10	ALDI
2	REVISED	10/11/10	ALDI
3	REVISED	10/11/10	ALDI
4	REVISED	10/11/10	ALDI
5	REVISED	10/11/10	ALDI
6	REVISED	10/11/10	ALDI
7	REVISED	10/11/10	ALDI
8	REVISED	10/11/10	ALDI
9	REVISED	10/11/10	ALDI
10	REVISED	10/11/10	ALDI

- LEGEND**
- Trees to be retained
 - Existing Tree Pits to be replaced
 - Site Floor Cover
 - Proposed Trees to be planted
 - Proposed Trees to be removed
 - Proposed Ground Cover
 - Gravel Pavement



Client:
 ALDI Stores
 (A Limited Partnership)

Project:
 ALDI Wyong

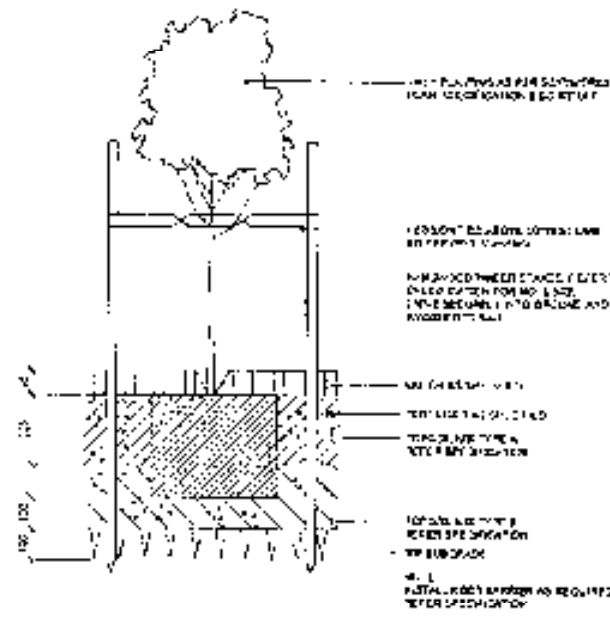


DEVELOPMENT APPLICATION

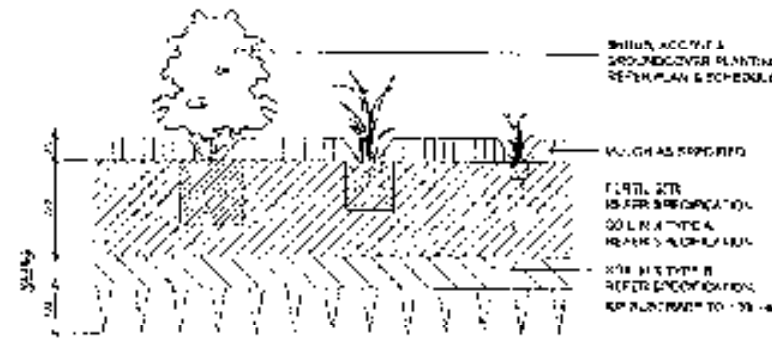
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 Landscape Plan

Drawn: [Name]
 Checked: [Name]

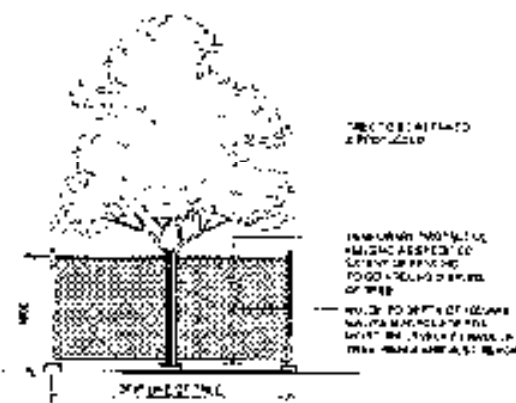
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 Checked: [Name]
 Date: 10/11/10
 Scale: 1:100
 Sheet: 101 of 101



01 25L-75L TREE PLANTING ON SUBGRADE SCALE 1:10



02 25L-75L TREE PLANTING ON GRADE SCALE 1:10



03 TREE PROTECTION FENCING SCALE 1:10

Plant Schedule					
ALDI Wyong					
15/10/2021					
Symbol	Botanic Name	Common Name	Mature Size (h x w d mm)	Instruction Size	Quantity
Trees					
T1	<i>Walteria hirsuta</i>	Walteria	15m x 5m	75L	10
T2	<i>Melaleuca grandiflora</i>	White Gum	5m x 3m	75L	5
Shrubs					
S1	<i>Phormium tenax</i>	Phormium	3m x 2m	250mm	64
Groundcovers / Accessories					
G1	<i>Corchorus glaucus</i>	Pig Face	600mm x 2m	150mm	14
G2	<i>Conyza bonariensis</i>	White Daisy	600mm x 2m	150mm	64
G3	<i>Lomandra teres</i>	Taxi	2.5m x 5m	150mm	212

1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the centerline of the element unless otherwise stated.
3. All dimensions are to the finished surface unless otherwise stated.
4. All dimensions are to the top of the element unless otherwise stated.
5. All dimensions are to the bottom of the element unless otherwise stated.
6. All dimensions are to the side of the element unless otherwise stated.
7. All dimensions are to the front of the element unless otherwise stated.
8. All dimensions are to the back of the element unless otherwise stated.
9. All dimensions are to the top of the element unless otherwise stated.
10. All dimensions are to the bottom of the element unless otherwise stated.

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2. All dimensions are to the centerline of the element unless otherwise stated.
3. All dimensions are to the finished surface unless otherwise stated.
4. All dimensions are to the top of the element unless otherwise stated.
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8. All dimensions are to the back of the element unless otherwise stated.
9. All dimensions are to the top of the element unless otherwise stated.
10. All dimensions are to the bottom of the element unless otherwise stated.

NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	ISSUED FOR TENDERS	15/10/2021	J. SMITH	M. JONES
2	ISSUED FOR CONSTRUCTION	15/10/2021	J. SMITH	M. JONES
3	ISSUED FOR AS-BUILT	15/10/2021	J. SMITH	M. JONES
4	ISSUED FOR FINAL REVIEW	15/10/2021	J. SMITH	M. JONES
5	ISSUED FOR ARCHIVE	15/10/2021	J. SMITH	M. JONES

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	25L-75L TREE PLANTING ON SUBGRADE
(Symbol)	25L-75L TREE PLANTING ON GRADE
(Symbol)	TREE PROTECTION FENCING

Client: ALDI Stores (A Limited Partnership)

Project: ALDI Wyong

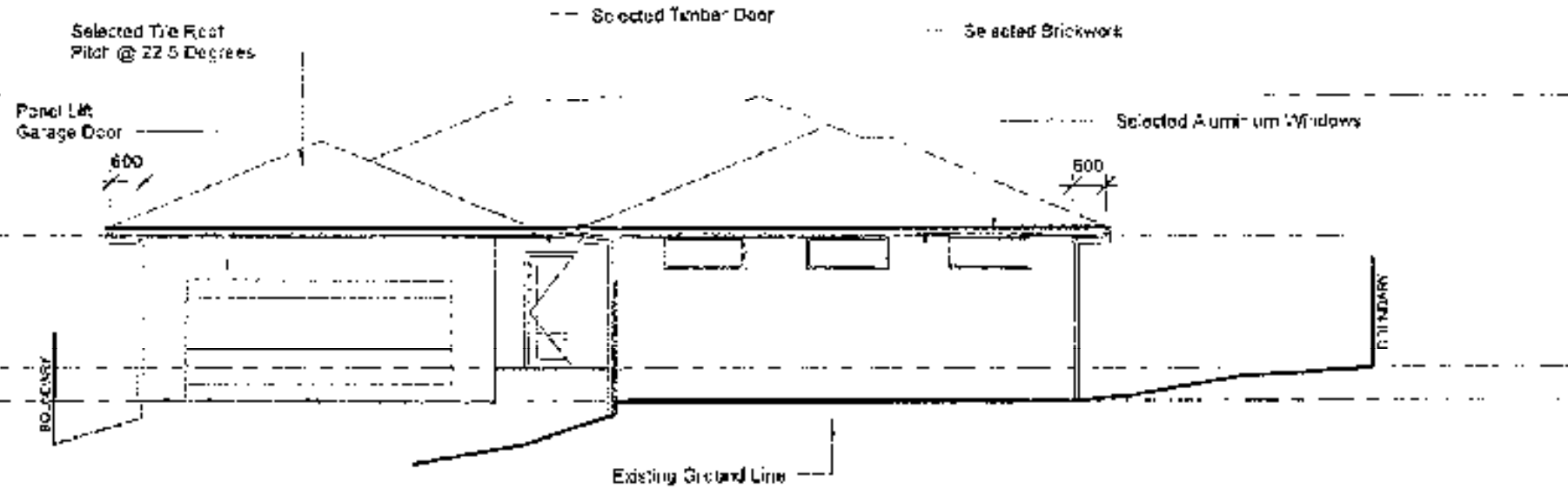


DEVELOPMENT APPLICATION

Project Name: Landscape Details E
Outline Specification

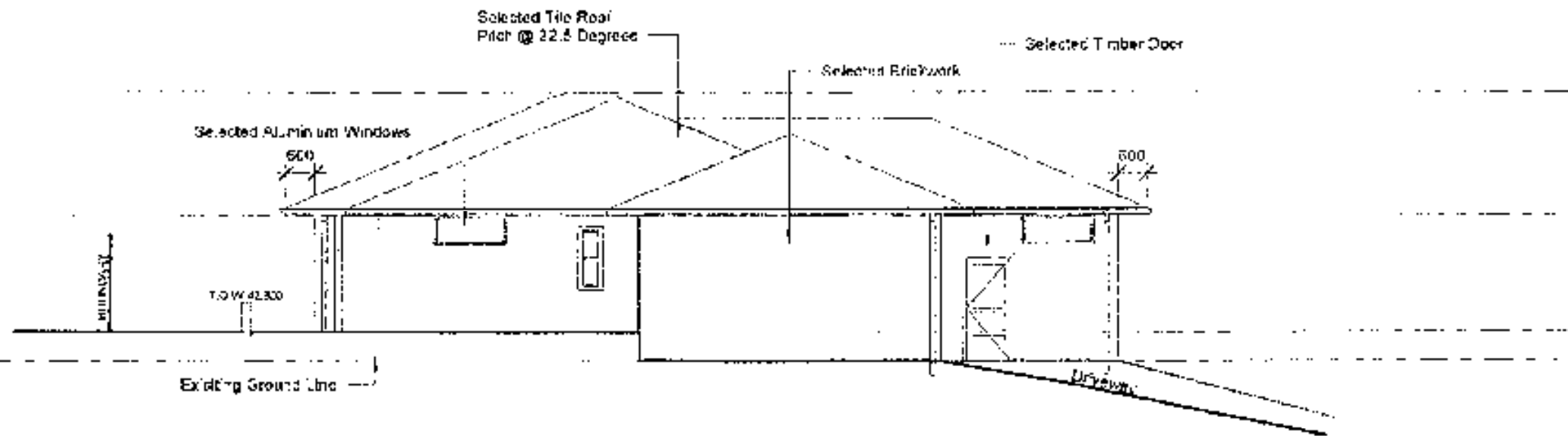
Drawn: J. SMITH
Checked: M. JONES
Scale: SS10 2221 50:1 A

- ▼ Main Ridge 39150
- ▼ Main Ceiling 36600
- ▼ Main F.F 34200
- ▼ Garage F.F 33600



NORTH ELEVATION

- ▼ Main Ridge 39150
- ▼ Main Ceiling 36600
- ▼ Main F.F 34200
- ▼ Garage F.F 33600



EAST ELEVATION

MSD DRAFTING

18 Arnold Cr Terrigal 0412688917

No.	Description	Date

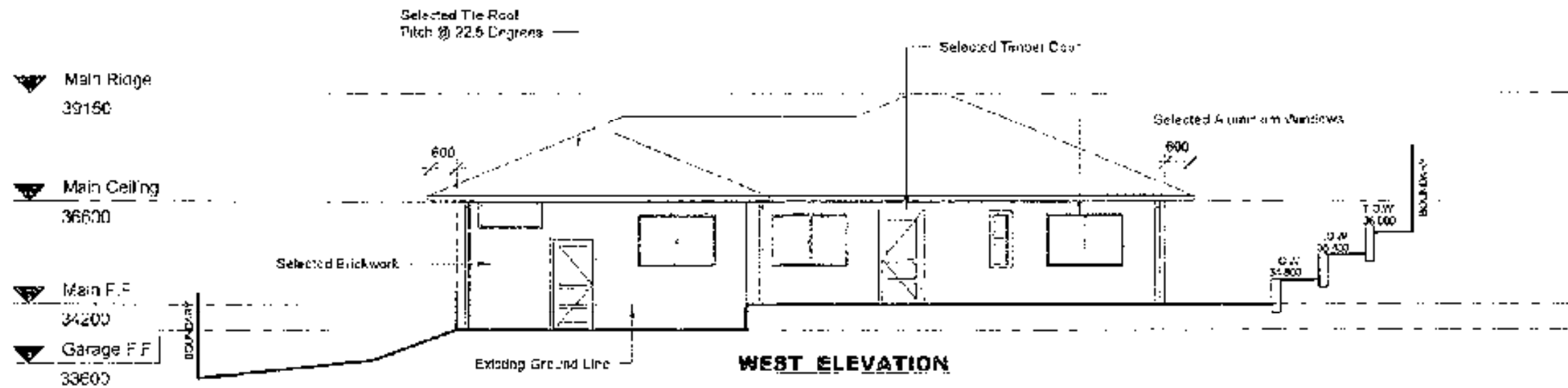
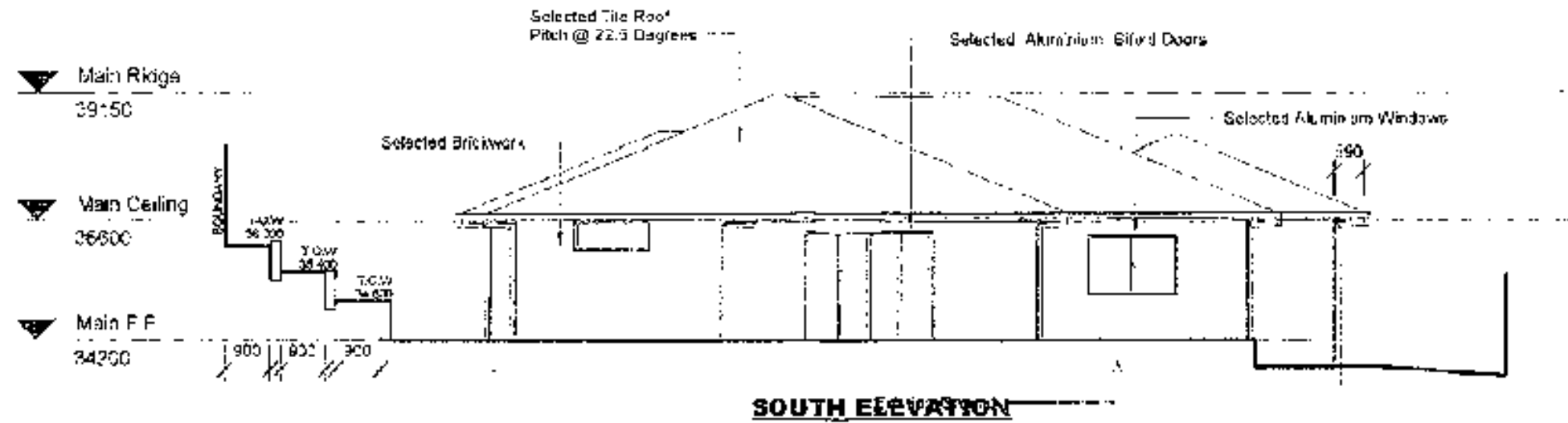
TARAZ LALEHZARI
19 WAKEHURST DR
WYONG

ELEVATIONS

Project no: WYONG
Date: 10.09.12
Drawn by: Author
Checked by: Checker Scale: 1:100

A4

14/11/12 10:00 AM



MSD DRAFTING

18 Arnold Cr Terrigal 0412688917

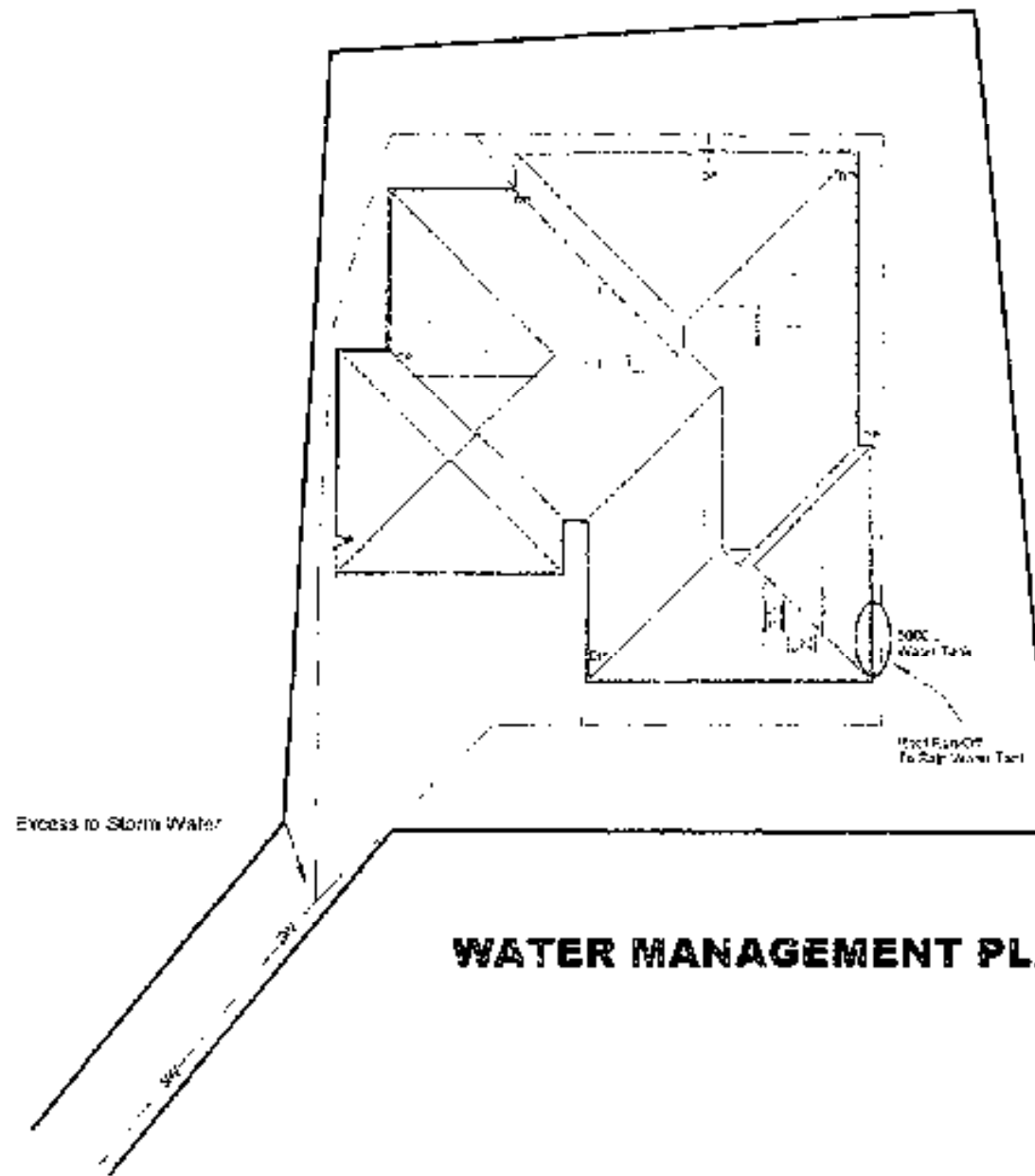
No.	Description	Date

TARAZ LALEHZARI
19 WAKEHURST DR
WYONG

ELEVATIONS

Project Number	WYONG	A5
Date	23.05.12	
Drawn by	A. Elze	
Checked by	Cherif	
Scale	1:100	

17/10/2012 9:41:13 PM



WATER MANAGEMENT PLAN

MSD DRAFTING

18 Arnold Cr Terrigal 0412688917

No.	Description	Date

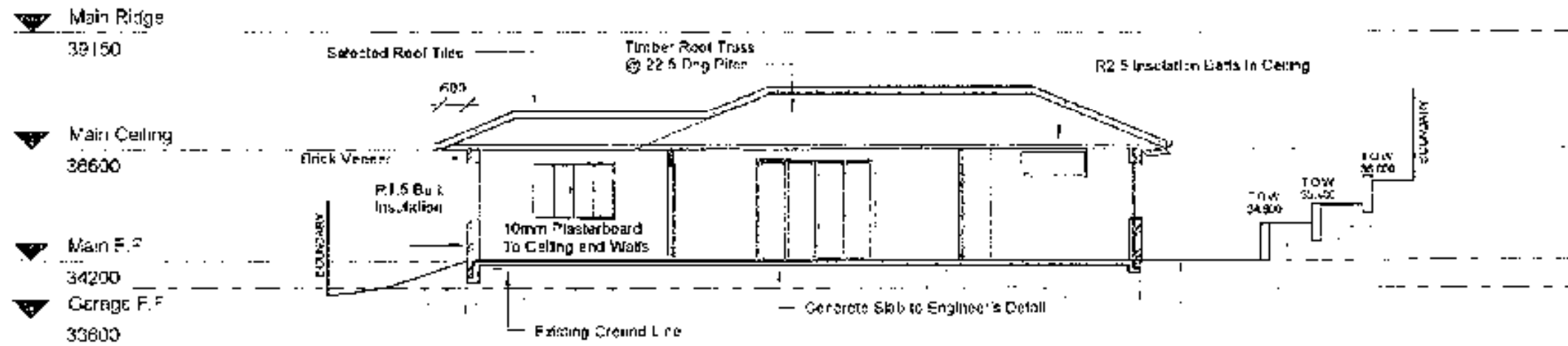
TARAZ LALEHZARI
19 WAKEHURST DR
WYONG

WATER MANAGEMENT PLAN

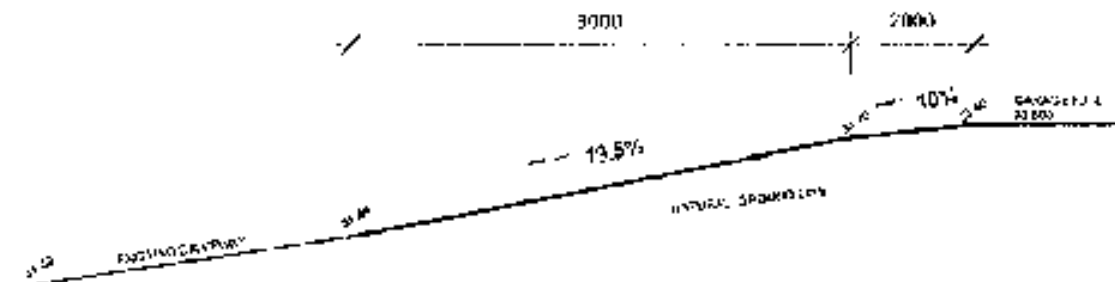
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Date	21/01/17
Drawn by	Artist
Checked by	Checker
Scale	1:100

A3

No. 13/02/02/0001/17



SECTION 1



DRIVEWAY GRADIENT

MSD DRAFTING

18 Arnold Cr Terrigal 0412688917

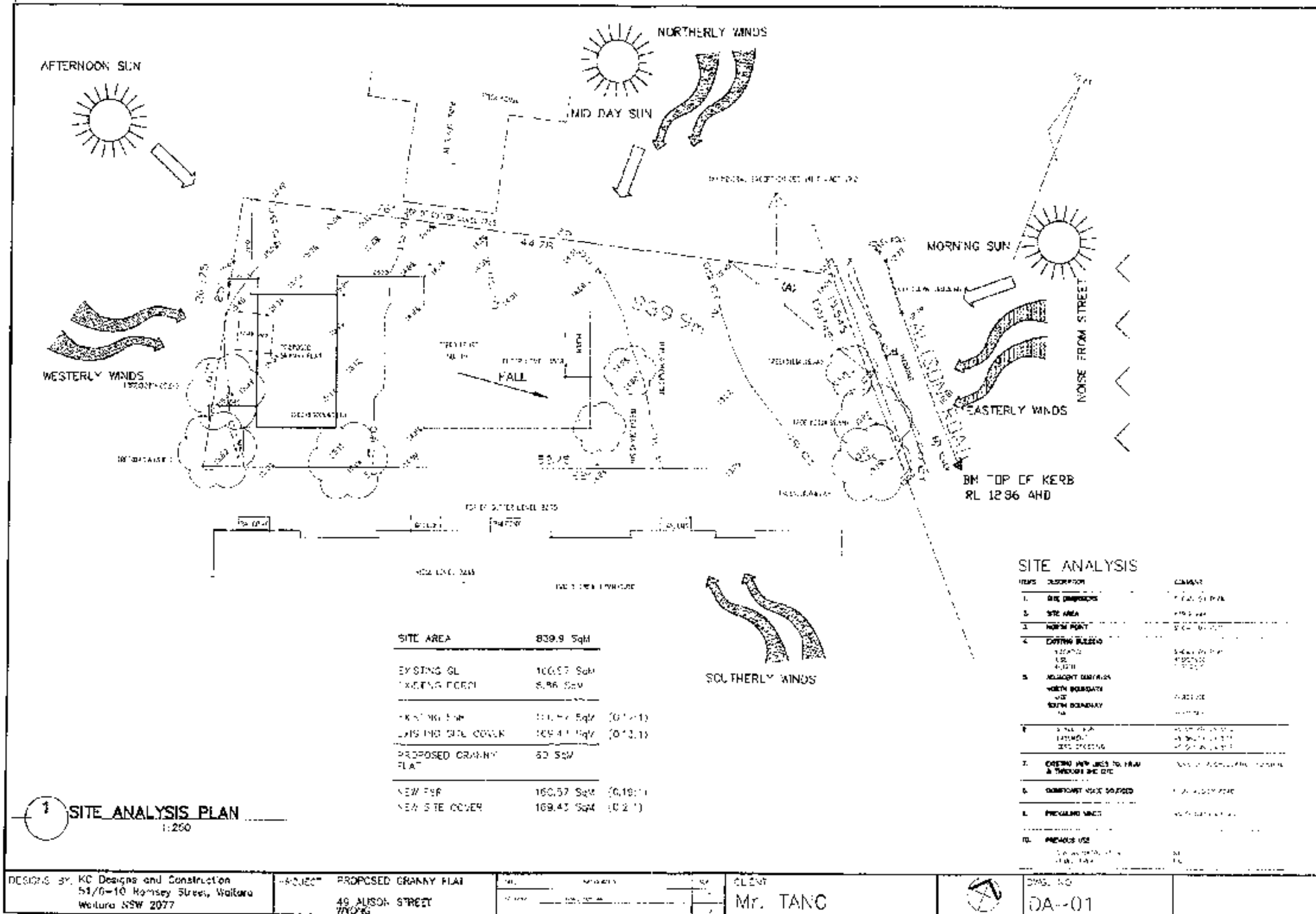
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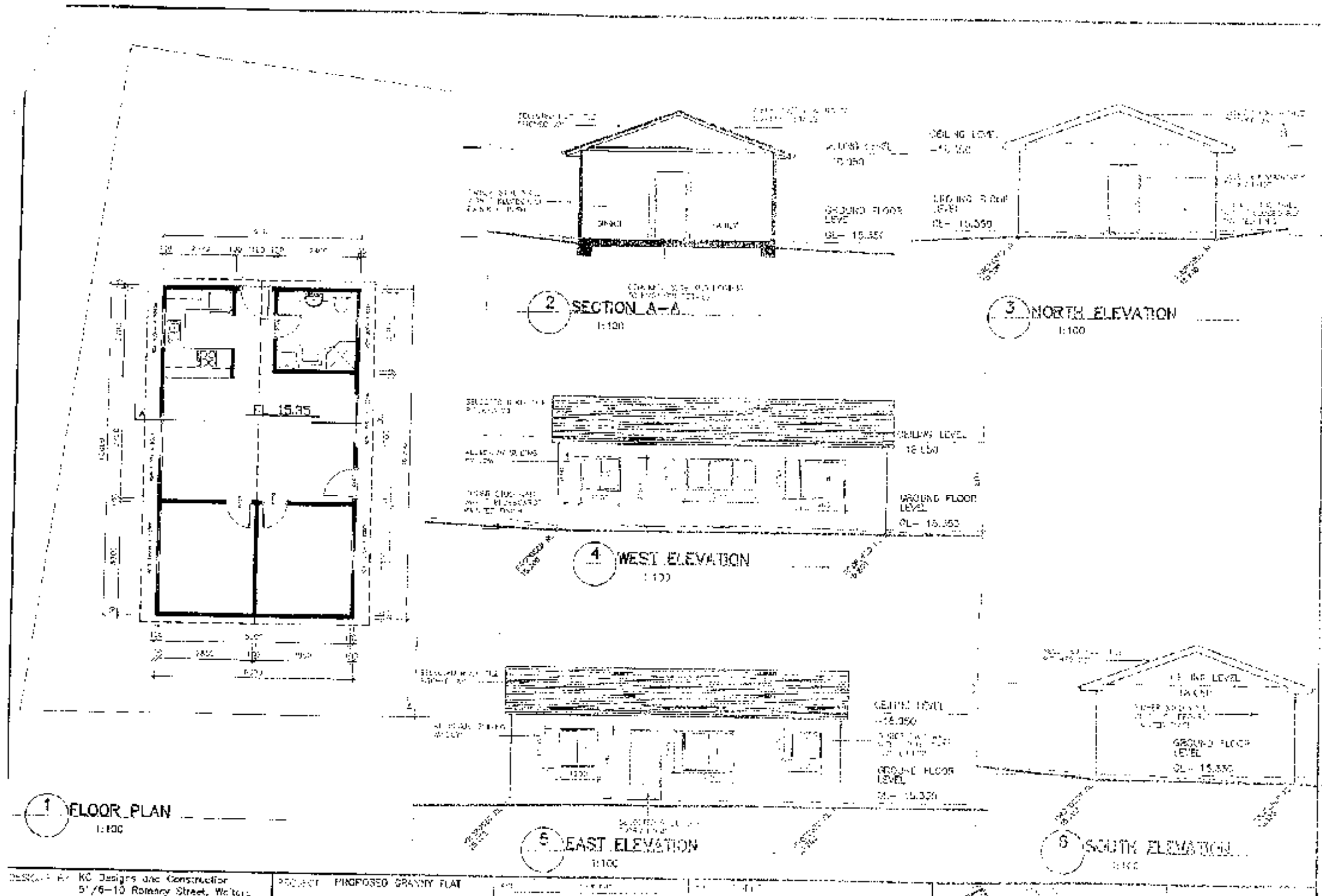
TARAZ LALEHZARI
19 WAKEHURST DR
WYONG

SECTIONS

Project number	WY060	A6
Date	21/09/12	
Drawn by	Ashley	
Checked by	Cheryl	
		Scale 1:100

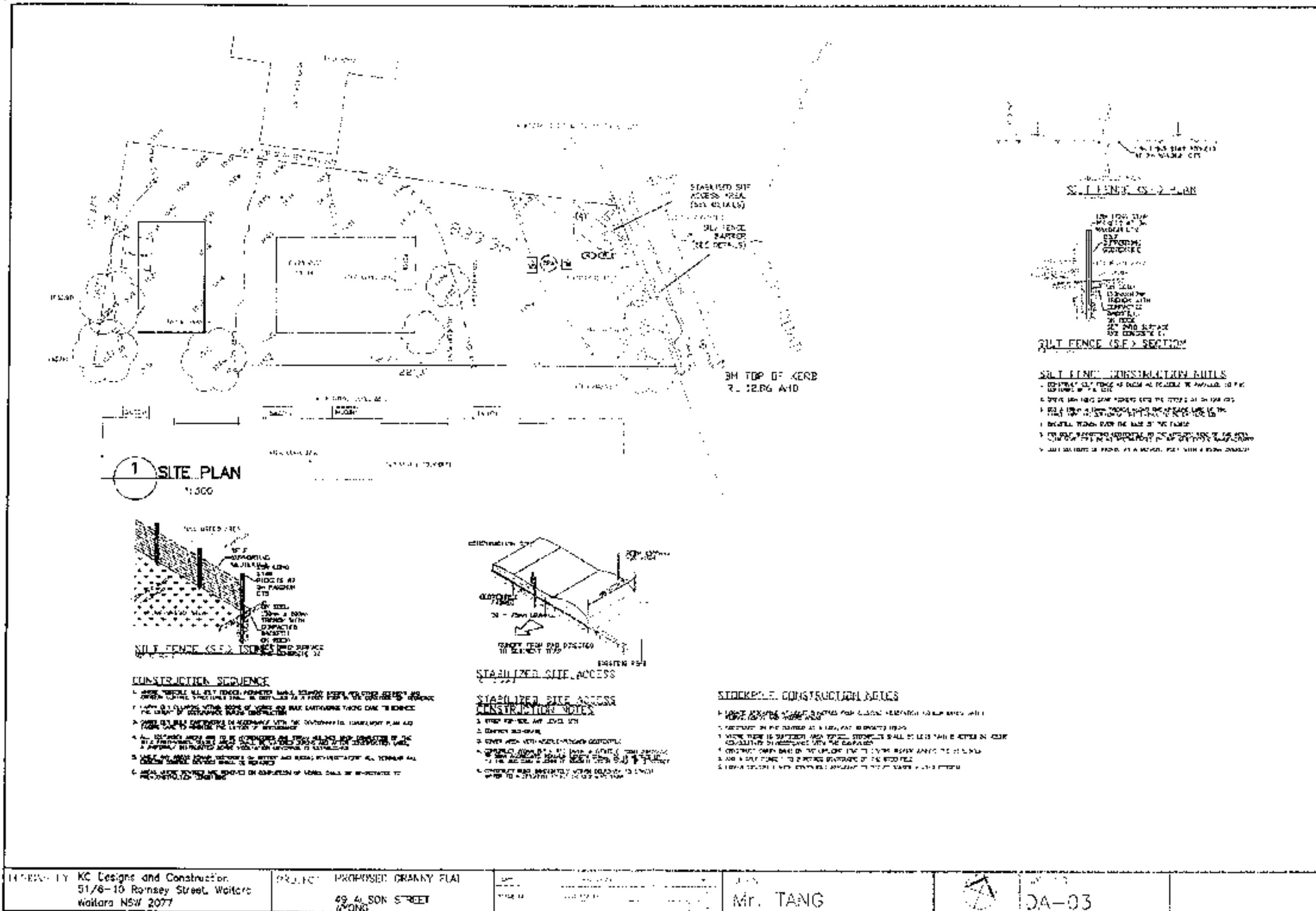
17/10/12 2:59:01 PM





DESIGNED BY KC Designs and Construction
51/6-10 Romany Street, Waverley

PROJECT PROPOSED GRANNY FLAT





W.A.N. CONSULTING SURVEYER

REGISTERED SURVEYOR (No. 12345)
 123 Main Street, Sydney, NSW 1500
 Phone: (02) 1234 5678
 Email: info@wan.com.au

PROJECT: [Project Name]
 CLIENT: [Client Name]
 DATE: [Date]
 DRAWING NO: [Drawing Number]

SCALE: 1:500
 SHEET NO: [Sheet Number]
 TOTAL SHEETS: [Total Sheets]

DATE: [Date]
 BY: [Name]
 CHECKED: [Name]

APPROVED: [Signature]
 TITLE: [Title]



Warnervale Town Centre Development Contributions Plan

**Revised DRAFT
Submitted to Council
(12 December 2012)
for Adoption**

December 2012

